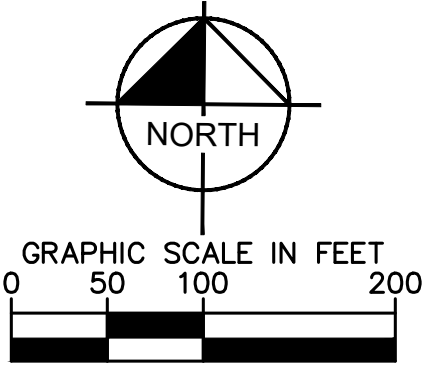
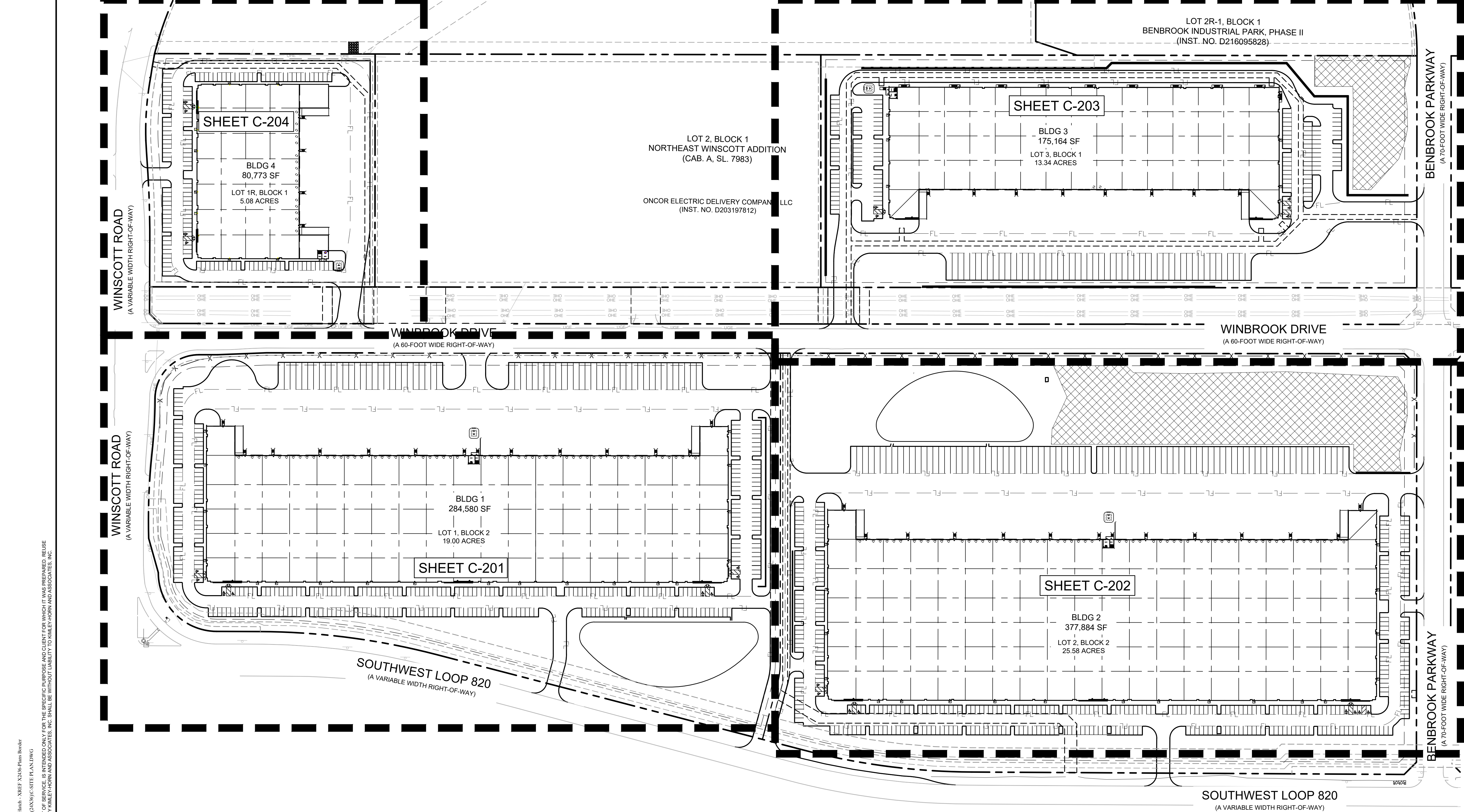


Location Map



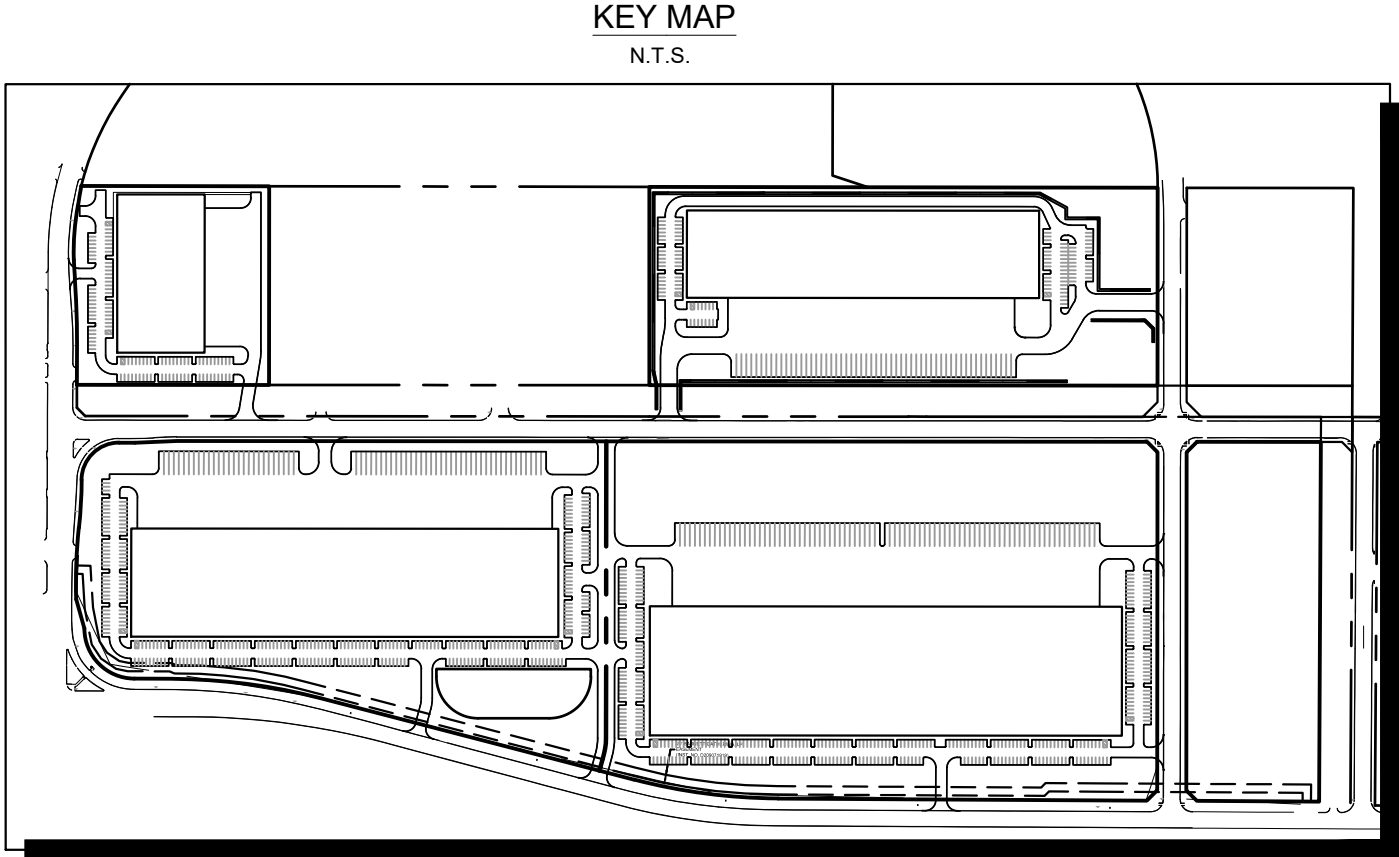


Overall Site Data				
General				
Proposed Use	Warehouse / Office			
Existing Zone District	PD - G-Commerce			
Site		Setbacks	Required	Proposed
Lot 1, Block 2	19.00 Acres	Front Setback	25 Ft.	Ref. Each
Lot 2, Block 2	25.58 Acres	Side Setback	10 Ft.	Ref. Each
Lot 3, Block 1	13.34 Acres	Rear Setback	10 Ft.	Ref. Each
Lot 1R, Block 1	5.08 Acres			
Gross Site Area	63.00 Acres	Parking		
		Total Spaces		
Building 1	284,580 Sq. Ft.	Building 1	143	336
Building 2	377,884 Sq. Ft.	Building 2	189	368
Building 3	175,164 Sq. Ft.	Building 3	117	129
Building 4	80,773 Sq. Ft.	Building 4	54	131
Total Building Area	918,401 Sq. Ft.	Total Parking	503	964

Notes: Reference individual sheets for additional site and parking information

KEY NOTES

- EXISTING 6" CURB.
- CONNECT TO EXISTING CURB
- PROPOSED ACCESSIBLE HC PARKING STALLS. SEE PAVING DETAILS SHEET (TYP.)
- PROPOSED HC SIGNS SEE PAVING DETAILS SHEET (TYP.)
- PROPOSED 4" WHITE PAINTED PARKING STALL STRIPING
- PROPOSED 4" WHITE PAINTED TRAFFIC STRIPES @ 45° SPACED AT 2.0' O.C. SEE PAVING DETAILS SHEET (TYP.)
- SAWCUT 1.5' AND CONNECT TO EXISTING CONCRETE PAVEMENT. CONSTRUCT LONGITUDINAL BUTT JOINT (SEE PAVING DETAILS SHEET) AND MATCH EXISTING PAVEMENT ELEVATION.
- PROPOSED SIDEWALK. SEE LANDSCAPE PLANS.
- PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS.
- PROPOSED 6" CURB. SEE PAVING DETAILS SHEET (TYP.)
- PROPOSED FIRE LANE STRIPING (TYP.)
- INSTALL BOLLARD
- INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.)
- GROUTED RIP RAP STRIP
- PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.)
- EXISTING FIRE HYDRANT
- STOP SIGN
- DOCK DOORS



LEGEND

- FL PROPOSED FIRE LANE STRIPING
- EXISTING / PROPOSED EASEMENT
- X PROPOSED 8' TALL SCREEN WALL PER OWNER SPEC.
- SETBACK LINE

CAUTION
EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO ANY TRENCHING OR EXCAVATION.

811
Know what's below.
Call before you dig.

BENCH MARK LIST

TEMPORARY BENCHMARKS

A T CUT ELEV. 681.45 LOCATED IN THE WEST CURB OF WINSBROOK ROAD AT THE SOUTH INTERSECTION OF THE 75' WIDE ONCOR ELECTRIC DELIVERY COMPANY R.O.W.
N = 6935172.35
E = 2290762.14

A T CUT ELEV. 676.78 LOCATED IN THE WEST TOP OF CURB OF WINSBROOK ROAD APPROX. 100' SOUTH OF THE INTERSECTION OF BENBROOK ROAD
N = 6935172.35
E = 2290815.58

Kimley»Horn

801 CHERRY ST. UNIT 11, STE 1300, FORT WORTH, TX 76102
PHONE: 817-335-6511 FAX: 817-335-5070
TEXAS REGISTERED ENGINEERING FIRM F-928

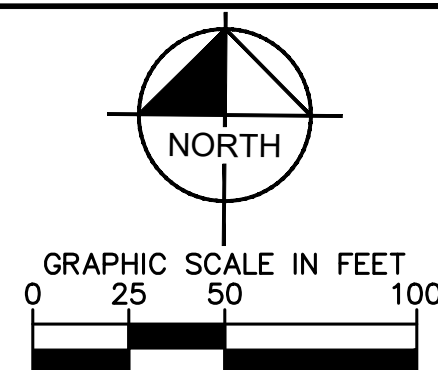
STATE OF TEXAS
JEFFREY L. HORN
134599
2/9/2022

PROJECT No. 063411012
DATE: FEBRUARY 2022
SCALE: AS SHOWN
DESIGNED BY: KHA
DRAWN BY: KHA
CHECKED BY:

BENBROOK INDUSTRIAL PARK

OVERALL SITE PLAN

C-200

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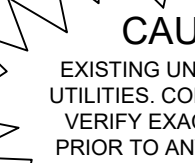
Kimley»»Horn
801 CHERRY ST., UNIT 11, STE 1300, FORT WORTH, TX 76102
PHONE 817-335-4511 FAX: 817-335-5070
TEXAS REGISTERED ENGINEERING FIRM F-528



PROJECT No. 063411012	DATE: FEBRUARY 2022	SCALE: AS SHOWN	DESIGNED BY: KHA	DRAWN BY: KHA	CHECKED BY: KHA
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**BENBROOK
INDUSTRIAL PARK**

C-201	SITE PLAN - BUILDING 1
-------	------------------------



CAUTION
EXISTING UNDERGROUND
UTILITIES. CONTRACTOR TO
VERIFY EXACT LOCATION
PRIOR TO ANY TRENCHING
OR EXCAVATION.

BENCH MARK LIST

TEMPORARY BENCHMARKS

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 E = 2290762.14

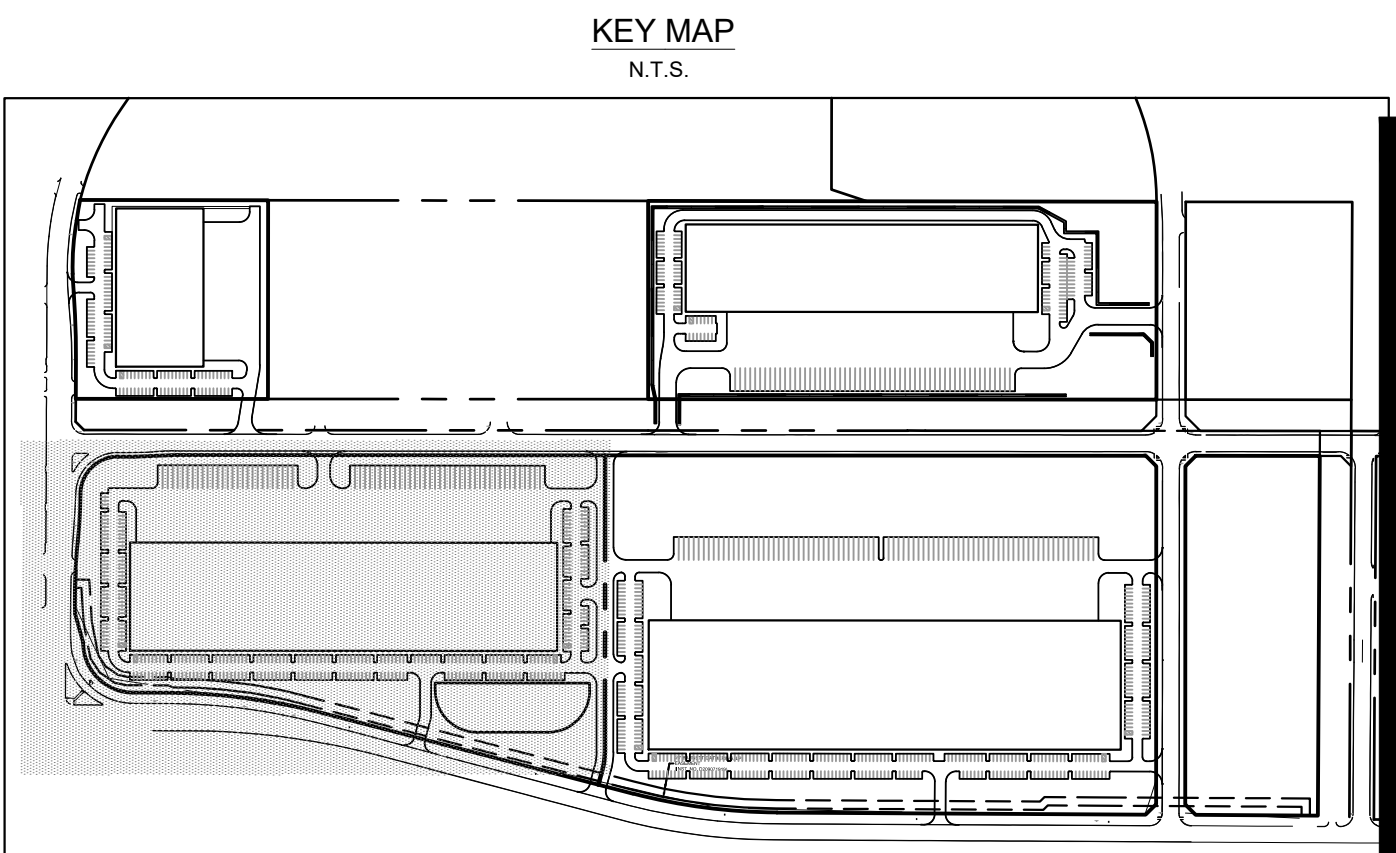
A T CUT ELEV. 676.78 LOCATED IN WEST TOP OF CURB OF WINSOTT ROAD APPROX. 100' SOUTH OF THE INTERSECTION OF BENBROOK ROAD
 N = 6935172.35
 E = 2290815.56

Site Data Building 1				
General			Required	Proposed
Proposed Use	Warehouse/ Office		Setbacks	
Existing Zone District	PD - G-Commerce		Front Setback	25 Ft. 97.8 Ft.
	Site		Side Setback	10 Ft. 106.5 Ft.
Legal Description	Lot 1, Block 2		Rear Setback	10 Ft. 106.5 Ft.
Net Land Area (AC)	19.00		Parking	
Building Area (SF)	284,580		Total Parking Spaces	143 336
Building Area: Net Land Area	0.34		ADA Spaces	5 8
Outside Storage Area (SF)	None Currently Proposed		ADA Van Spaces	1 2
Outside Storage Area: Net Land Area	N/A			

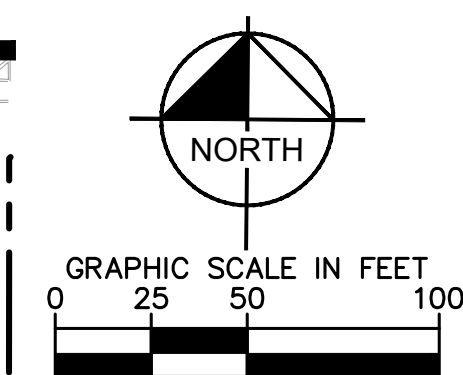
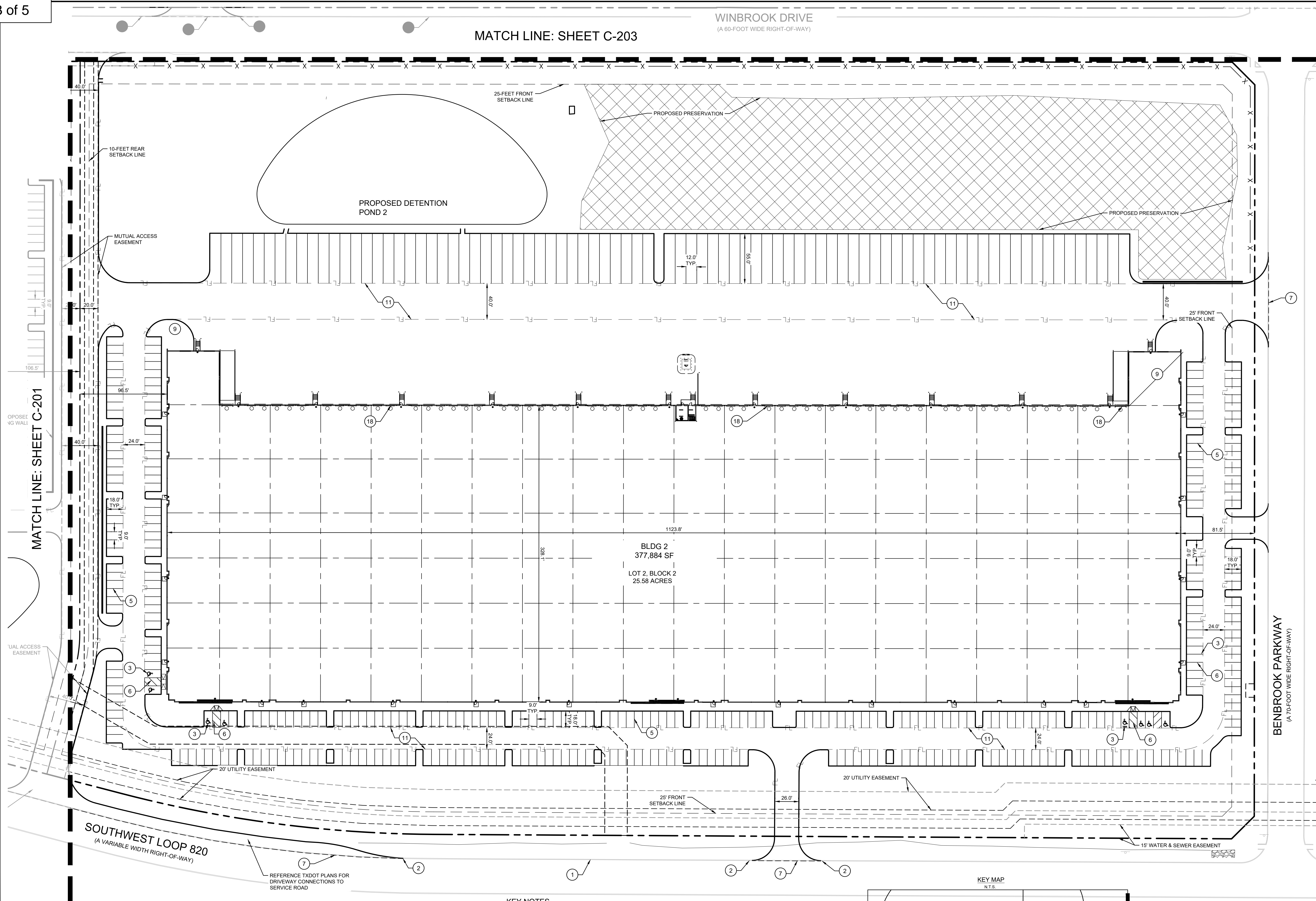
LEGEND

———— FL ————	PROPOSED FIRE LANE STRIPING
- - - - -	EXISTING/ PROPOSED EASEMENT
———— X ————	PROPOSED 8' TALL SCREEN WALL PER OWNER SPEC.
———— ————	SETBACK LINE

- ## KEY NOTES
1. EXISTING 6" CURB.
 2. CONNECT TO EXISTING CURB
 3. PROPOSED ACCESSIBLE HC PARKING STALLS. SEE PAVING DETAILS SHEET (TYP.)
 4. PROPOSED HC SIGNS SEE PAVING DETAILS SHEET (TYP.)
 5. PROPOSED 4' WHITE PAINTED PARKING STRAIL STRIPING
 6. PROPOSED 4' WHITE PAINTED TRAFFIC STRIPES @ 45° SPACED AT 21" SEE PAVING DETAILS SHEET (TYP.)
 7. SAWCUT 1.5" AND CONNECT TO EXISTING CONCRETE PAVEMENT. CONSTRUCT LONGitudINAL BUTT JOINT (SEE PAVING DETAILS SHEET) AND MATCH EXISTING PAVEMENT ELEVATION.
 8. PROPOSED SIDEWALK. SEE LANDSCAPE PLANS.
 9. PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS.
 10. PROPOSED 6" CURB. SEE PAVING DETAILS SHEET (TYP.)
 11. PROPOSED FIRE LANE STRIPING (TYP.)
 12. INSTALL BOLLARD
 13. INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.)
 14. GROUTED RIP RAP STRIP
 15. PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.)
 16. EXISTING FIRE HYDRANT
 17. STOP SIGN
 18. DOCK DOORS

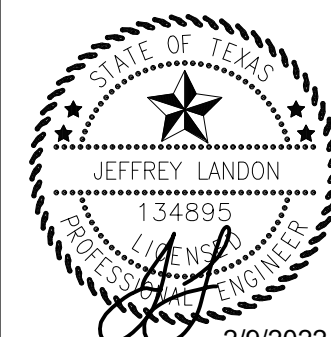
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Kimley»Horn

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PHONE: 817-335-6511 FAX: 817-335-5070
TEXAS REGISTERED ENGINEERING FIRM F-928



2/9/2022

PROJECT No.

DATE: _____

SCALE: AS SH-

DRAWN BY:

BENBROOK
INDUSTRIAL PARK

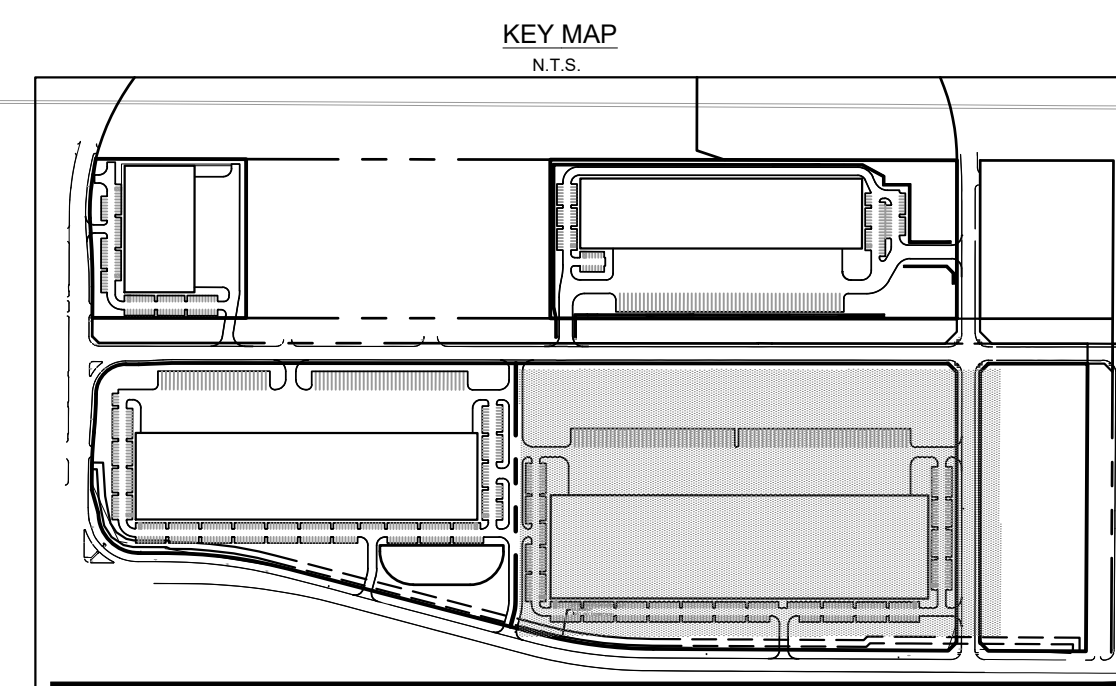
SITE PLAN - BUILDING 2

C-202

Site Data Building 2						
General					Required	Proposed
Proposed Use	Warehouse/ Office		Setbacks			
Existing Zone District	PD - G-Commerce		Front Setback		25 Ft.	81.5 Ft.
	Site		Side Setback		10 Ft.	96.5 Ft.
Legal Description	Lot 2, Block 2		Rear Setback		10 Ft.	96.5 Ft.
Net Land Area (AC)	25.58		Parking			
Building Area (SF)	377,884		Total Parking Spaces		189	368
Building Area: Net Land Area	0.34		ADA Spaces		6	8
Outside Storage Area (SF)	None Currently Proposed		ADA Van Spaces		1	2
Outside Storage Area: Net Land Area	N/A					

- ## KEY NOTES

- | | | | |
|---|---|----|---|
| 1 | EXISTING #6 CURB. | 9 | PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS. |
| 2 | CONNECT TO EXISTING CURB | 10 | PROPOSED #6 CURB. SEE PAVING DETAILS SHEET (TYP.) |
| 3 | PROPOSED ACCESSIBLE HC PARKING STALLS. SEE PAVING DETAILS SHEET (TYP.) | 11 | PROPOSED FIRE LANE STRIPING (TYP.) |
| 4 | PROPOSED HC SIGNS SEE PAVING DETAILS SHEET (TYP.) | 12 | INSTALL BOLLARD |
| 5 | PROPOSED 4' WHITE PAINTED PARKING STALL STRIPING | 13 | INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.) |
| 6 | PROPOSED 4" WHITE PAINTED TRAFFIC STRIPES @ 45° SPACED AT 20'. SEE PAVING DETAILS SHEET (TYP.) | 14 | GROUTED RIP RAP STRIP |
| 7 | SAW CUT 1.5" AND CONNECT TO EXISTING CONCRETE PAVEMENT. CONSTRUCT LONGITUDINAL BUTT JOINT (SEE PAVING DETAILS SHEET) AND MATCH EXISTING PAVEMENT ELEVATION. | 15 | PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.) |
| 8 | PROPOSED SIDEWALK. SEE LANDSCAPE PLANS. | 16 | EXISTING FIRE HYDRANT |
| | | 17 | STOP SIGN |
| | | 18 | DOCK DOORS |



LEGEND

- | | |
|----------------|---|
| _____ FL _____ | PROPOSED FIRE LANE STRIPING |
| ----- | EXISTING/ PROPOSED EASEMENT |
| _____ X _____ | PROPOSED 8' TALL SCREEN WALL
PER OWNER SPEC. |
| _____ | SETBACK LINE |



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BENCH MARK LIST

TEMPORARY BENCHMARK

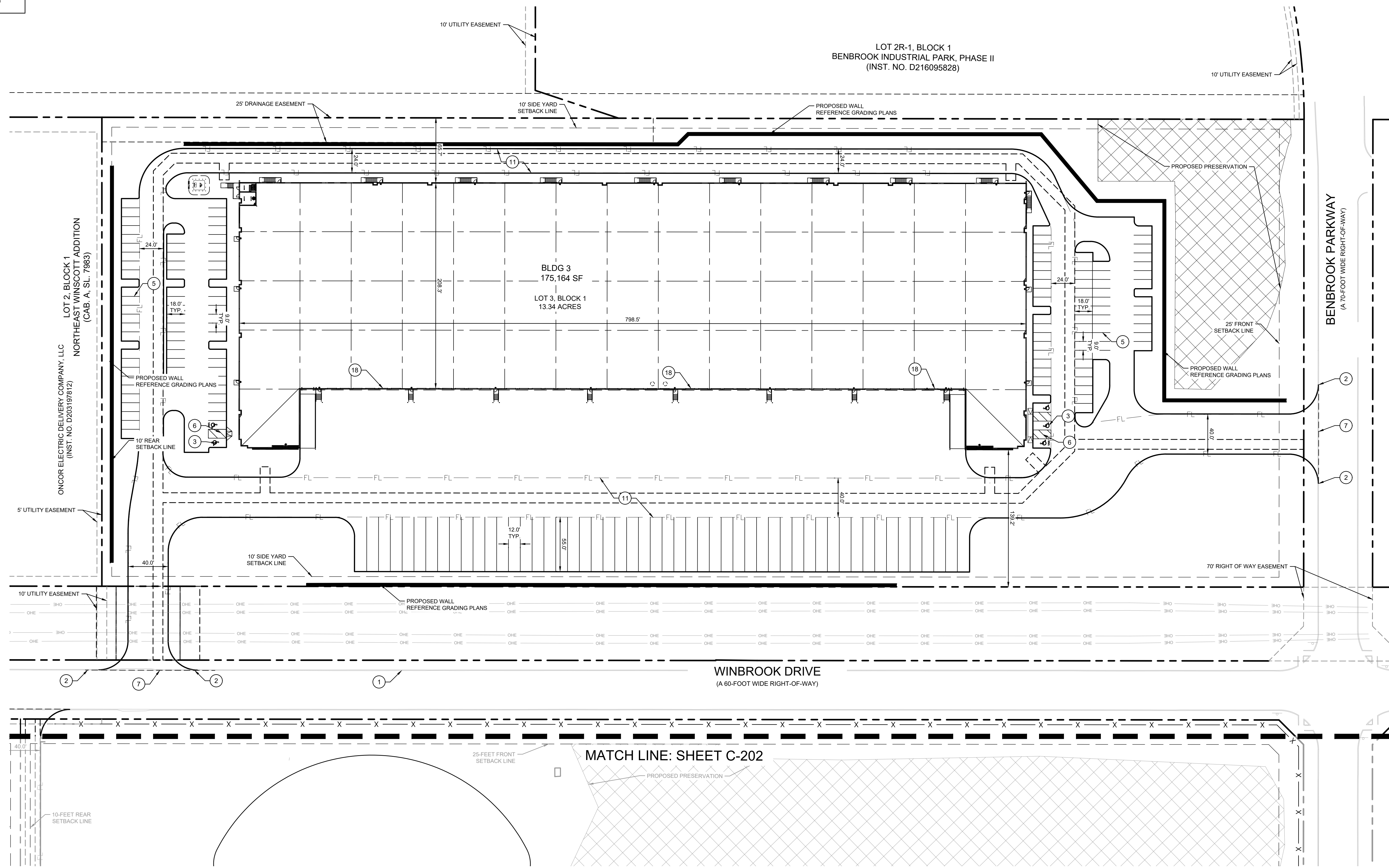
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INTERSECTION OF BENBROOK ROAD
N = 6935172.35
E = 2290815.56

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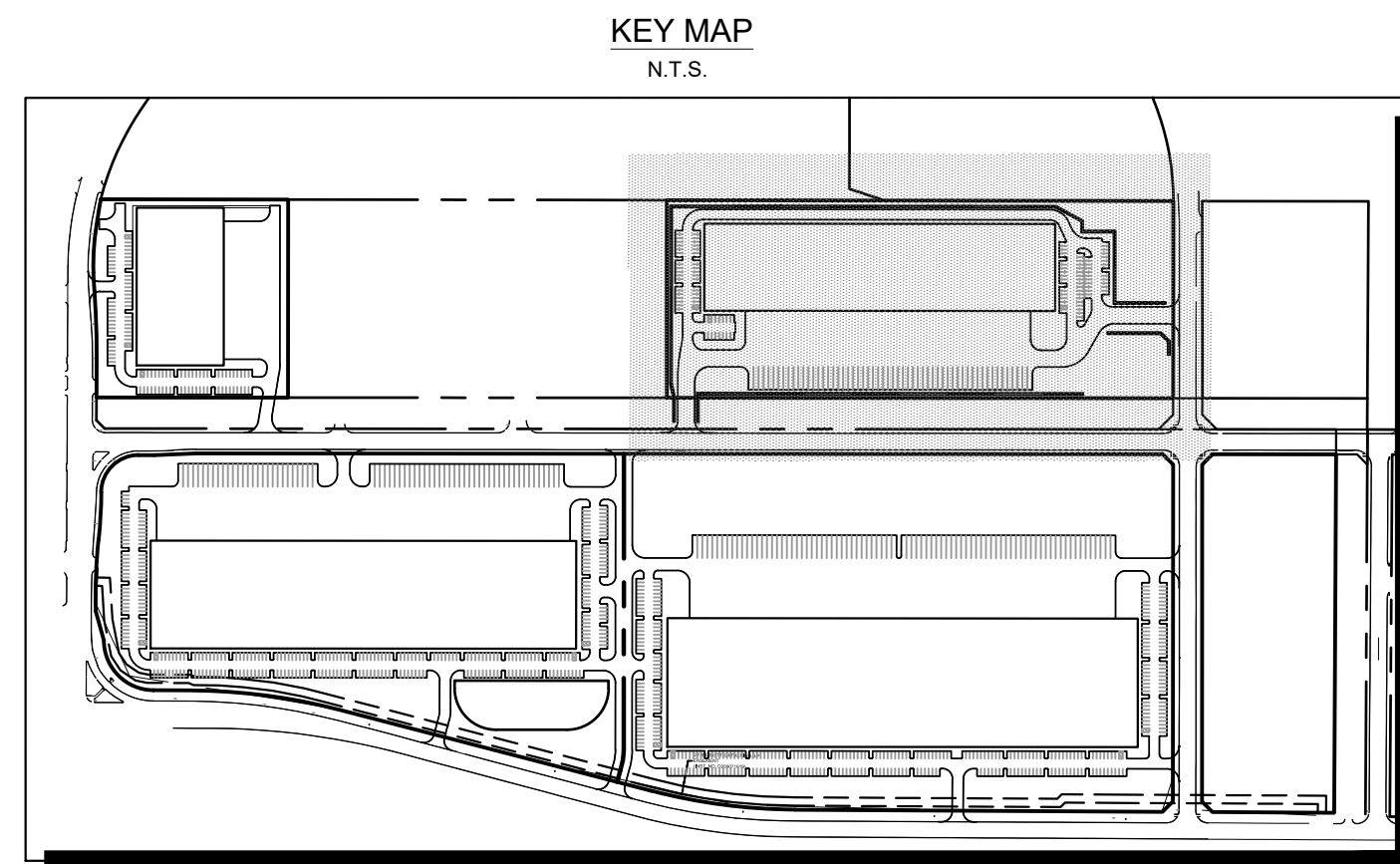
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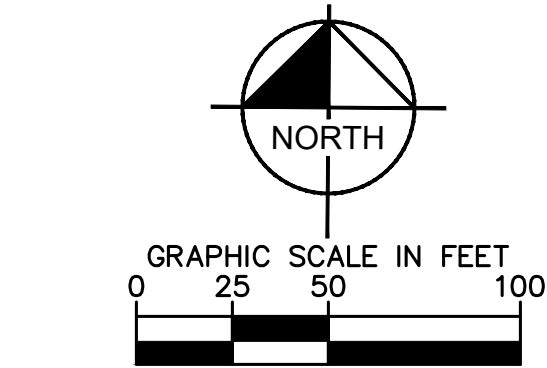


Site Data Building 3					
General				Required	Proposed
Proposed Use	Warehouse / Office		Setbacks		
Existing Zone District	PD - G-Commerce		Front Setback	25 Ft.	139.2 Ft.
	Site		Side Setback	10 Ft.	65.7 Ft.
Legal Description		Lot 3, Block 1	Rear Setback	10 Ft.	65.7 Ft.
Net Land Area (AC)		13.34	Parking		
Building Area (SF)		175,164	Total Parking Spaces	116	129
Building Area: Net Land Area		0.30	ADA Spaces	5	5
Outside Storage Area (SF)		None Currently Proposed	ADA Van Spaces	1	2
Outside Storage Area: Net Land Area		N/A			

- 1 EXISTING 6" CURB.
- 2 CONNECT TO EXISTING CURB
- 3 PROPOSED ACCESSIBLE HC PARKING STALLS. SEE PAVING DETAILS SHEET (TYP.)
- 4 PROPOSED HC SIGNS SEE PAVING DETAILS SHEET (TYP.)
- 5 PROPOSED 4" WHITE PAINTED PARKING STALL STRIPING
- 6 PROPOSED 4" WHITE PAINTED TRAFFIC STRIPES @ 45° SPACED AT 2' O.C. SEE PAVING DETAILS SHEET (TYP.)
- 7 SAWCUT 1/8" AND CONNECT TO EXISTING CONCRETE PAVEMENT. CONSTRUCT LONGITUDINAL BUTT JOINT (SEE PAVING DETAILS SHEET) AND MATCH EXISTING PAVEMENT ELEVATION.
- 8 PROPOSED SIDEWALK. SEE LANDSCAPE PLANS.
- 9 PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS.
- 10 PROPOSED 6" CURB. SEE PAVING DETAILS SHEET (TYP.)
- 11 PROPOSED FIRE LANE STRIPING (TYP.)
- 12 INSTALL BOLLARD.
- 13 INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.)
- 14 GROUTED RIP RAP STRIP
- 15 PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.)
- 16 EXISTING FIRE HYDRANT
- 17 STOP SIGN
- 18 DOCK DOORS



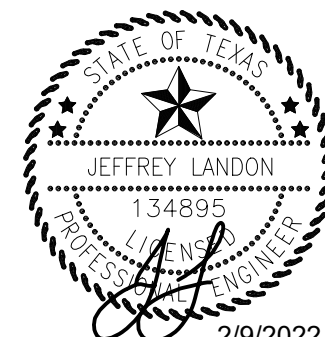
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 - - - - - EXISTING/ PROPOSED EASEMENT
 _____ X _____ PROPOSED 8' TALL SCREEN WALL
 PER OWNER SPEC.
 _____ SETBACK LINE



TEMPORARY BENCHMARKS

**A T CUT ELEV. 681.45 LOCATED IN
THE WEST CURB OF WINSCOTT
ROAD AT THE SOUTH INTERSECTION
OF THE 75' WIDE OUNCER ELECTRIC
DELIVERY COMPANY R.O.W.
N = 6935172.35
E = 2290762.14**

**A T CUT ELEV. 676.78 LOCATED IN
WEST TOP OF CURB OF WINSCOTT
ROAD APPROX. 100' SOUTH OF THE
INTERSECTION OF BENBROOK ROAD
N = 6935172.35
E = 2290815.56**

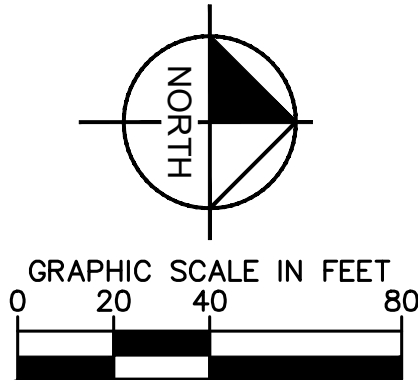
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PROJECT No.	063411012
DATE:	FEBRUARY 2012
SCALE:	AS SHOWN
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	

BENBROOK
INDUSTRIAL PARK

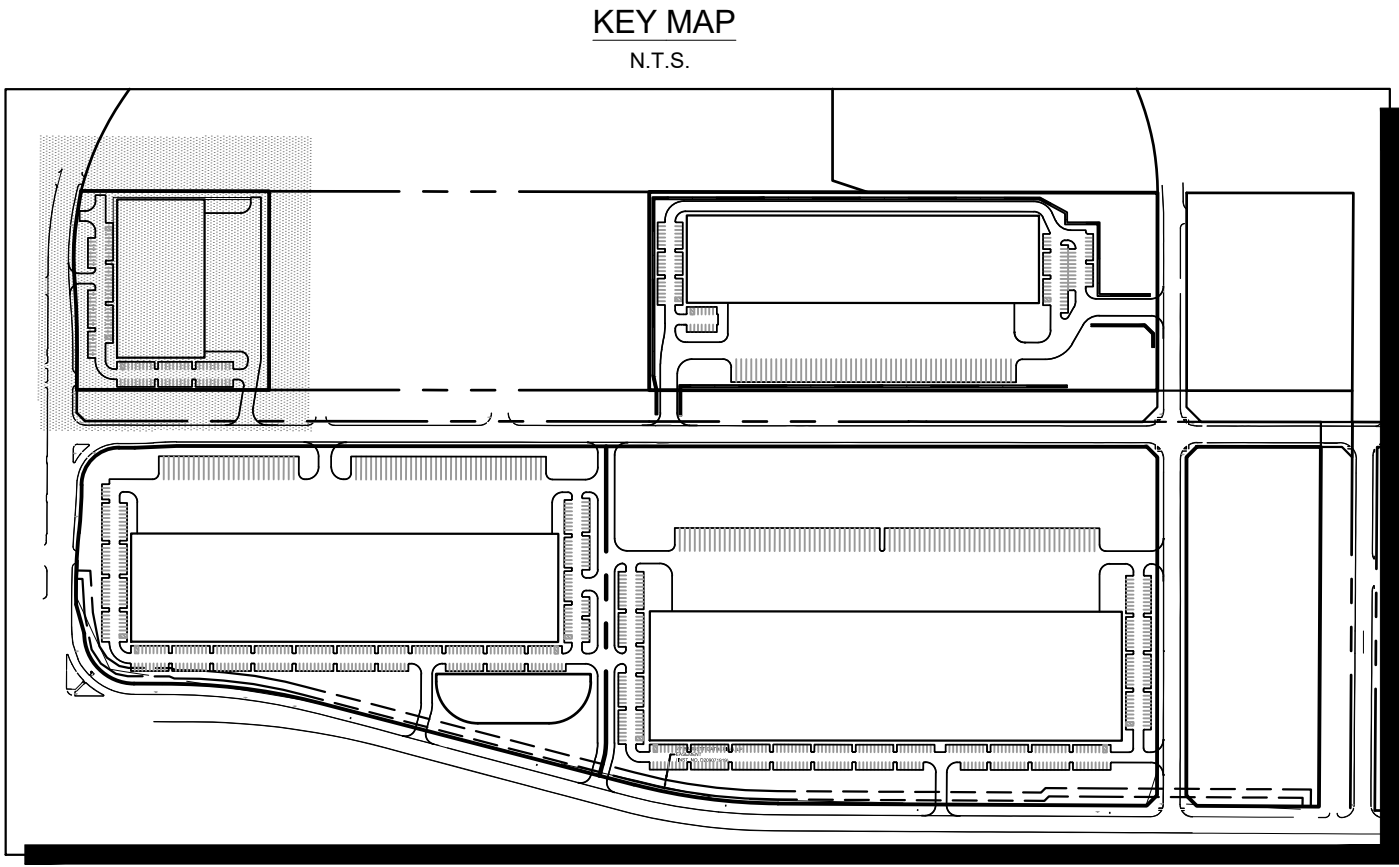
SITE PLAN - BUILDING 3

C-203



Site Data Building 4					
General				Required	Proposed
Proposed Use	Warehouse/ Office	Setbacks			
Existing Zone District	PD - G-Commerce	Front Setback	25 Ft.	57.5 Ft.	
	Site	Side Setback	10 Ft.	62.0 Ft.	
Legal Description		Rear Setback	10 Ft.	62.0 Ft.	
Net Land Area (AC)	5.08	Parking			
Building Area (SF)	80,773	Total Parking Spaces	54	131	
Building Area: Net Land Area	0.37	ADA Spaces	3	4	
Outside Storage Area (SF)	None Currently Proposed	ADA Van Spaces	1	2	
Outside Storage Area: Net Land Area	N/A				

- ## KEY NOTES
- 1 EXISTING 6" CURB.
 - 2 CONNECT TO EXISTING CURB
 - 3 PROPOSED ACCESSIBLE HC PARKING STALLS. SEE PAVING DETAILS SHEET (TYP.)
 - 4 PROPOSED HC SIGNS SEE PAVING DETAILS SHEET (TYP.)
 - 5 PROPOSED 4' WHITE PAINTED PARKING STALL STRIPING
 - 6 PROPOSED 4' WHITE PAINTED TRAFFIC STRIPES @ 45° SPACED AT 2' 0" O.C. SEE PAVING DETAILS SHEET (TYP.)
 - 7 SAWCUT 1.5" AND CONNECT TO EXISTING CONCRETE PAVEMENT. CONSTRUCT LONGITUDINAL BUTT JOINT (SEE PAVING DETAILS SHEET) AND MATCH EXISTING PAVEMENT ELEVATION.
 - 8 PROPOSED SIDEWALK. SEE LANDSCAPE PLANS.
 - 9 PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS
 - 10 PROPOSED 6" CURB. SEE PAVING DETAILS SHEET (TYP.)
 - 11 PROPOSED FIRE LANE STRIPING (TYP.)
 - 12 INSTALL BOLLARD
 - 13 INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.)
 - 14 GROUTED RIP RAP STRIP
 - 15 PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.)
 - 16 EXISTING FIRE HYDRANT
 - 17 STOP SIGN
 - 18 DOCK DOORS



LEGEND

—— FL ——	PROPOSED FIRE LANE STRIPING
- - - - -	EXISTING/ PROPOSED EASEMENT
—— X ——	PROPOSED 8' TALL SCREEN WALL PER OWNER SPEC.
— — — — —	SETBACK LINE


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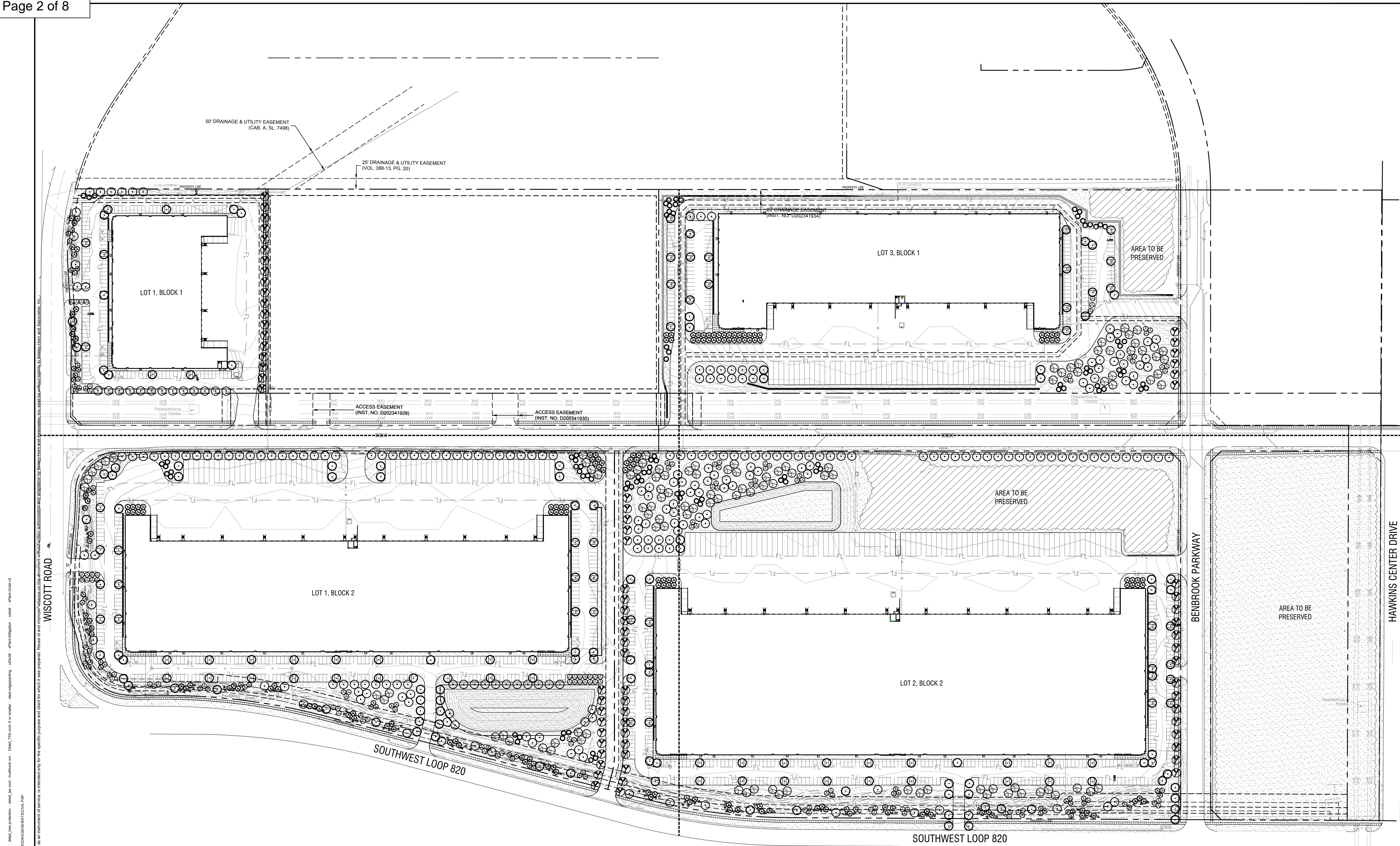
BENBROOK INDUSTRIAL PARK

BENBROOK, TX

LANDSCAPE PLAN

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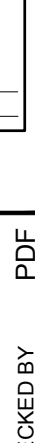
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					SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	DATE 02/09/2022 AS SHOWN PDF JRK PDF									



LANDSCAPE PLAN


Scale: 1" = 100'- 0"

A

SHEET NUMBER L1.01	LANDSCAPE PLAN	BENBROOK INDUSTRIAL PARK	BENBROOK, TEXAS
KHA PROJECT 063411012	DATE 02/09/2022	SCALE AS SHOWN	CHECKED BY PDF
DESIGNED BY	PDF	DRAWN BY	JRK
<div style="text-align: center;">  <p>© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069 PHONE 469-301-2580 FAX 972-239-3920 WWW.KIMLEY-HORN.COM TX F-426</p> </div>			
<div style="text-align: center;"> FOR THE ARCHITECT Not for construction or permit purposes  P.L.A. _____ Paid In Advance I.R. No. 2458 Date: 02/09/2022 </div>			
<div style="text-align: right;"> REVISIONS NO. DATE BY </div>			

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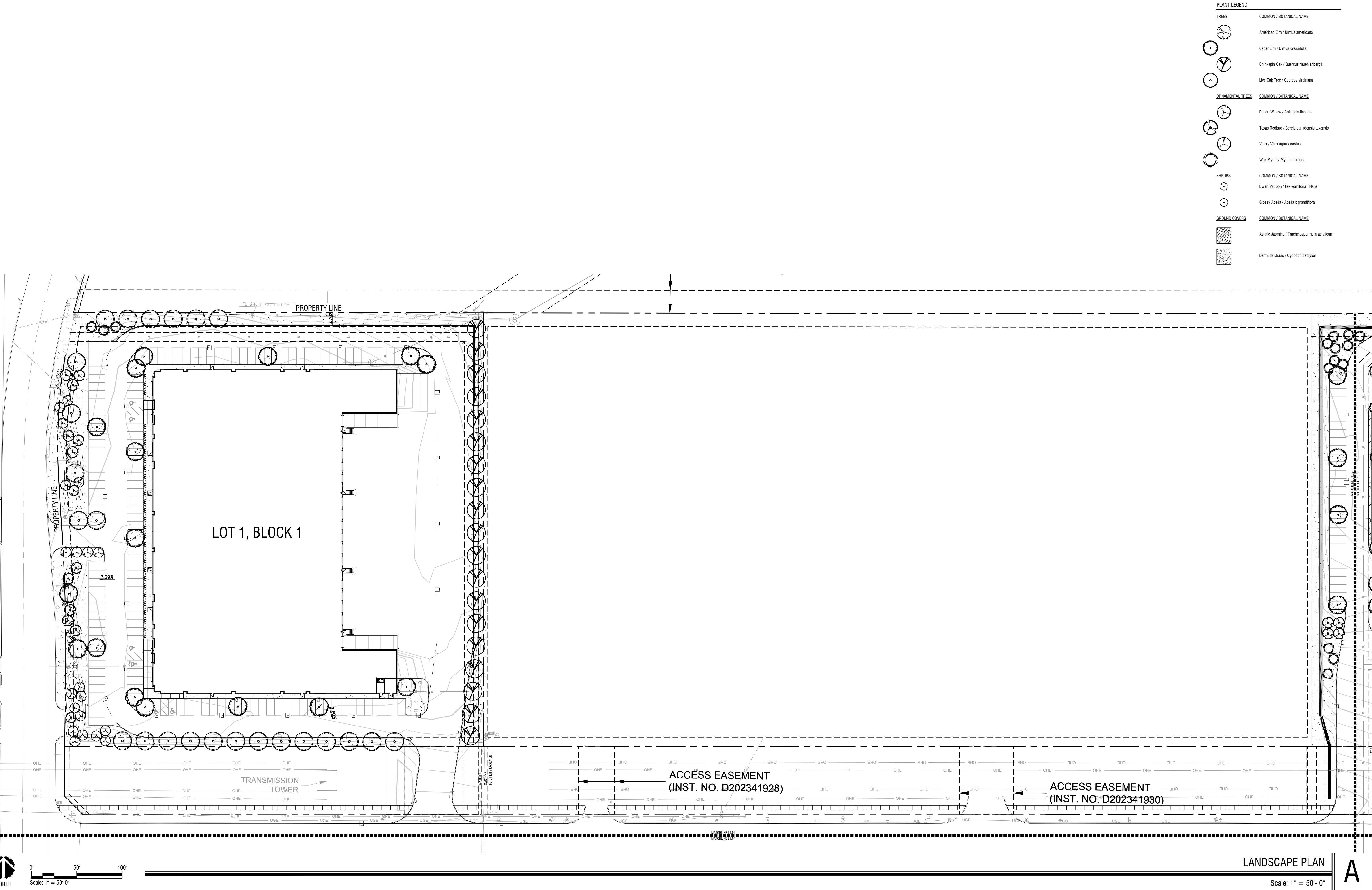
KHA PROJECT 063411012	DATE	02/09/2022	SCALE	AS SHOWN	DESIGNED BY	PDF	JRK DRAWN BY CHECKED BY	
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	P.L.A.	Paul D. Fireland						
	L.A. No.	2658	Date	02/09/2022				
	02/09/2022							

BENBROOK INDUSTRIAL PARK

LANDSCAPE PLAN

SHEET NUMBER

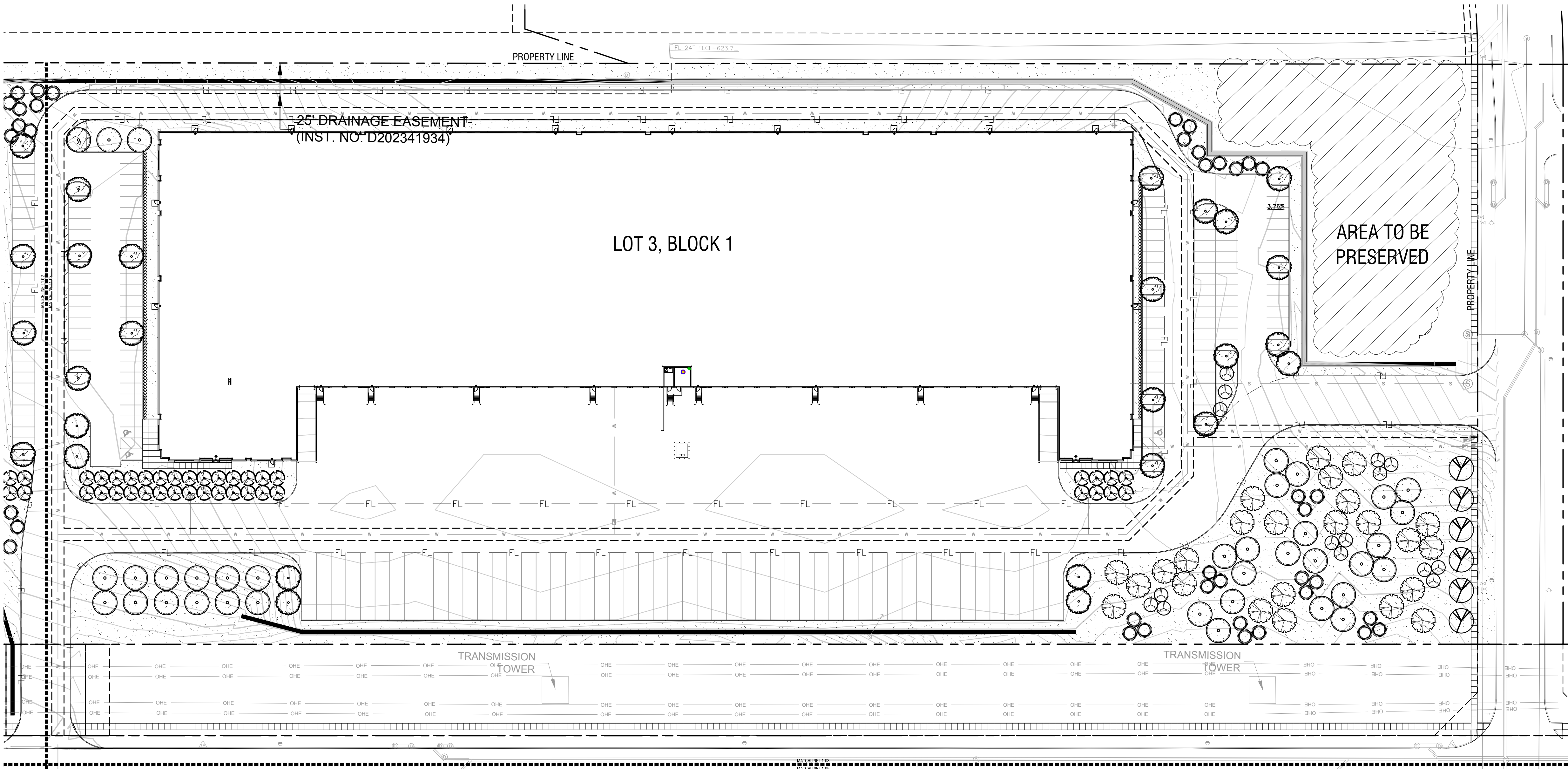
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








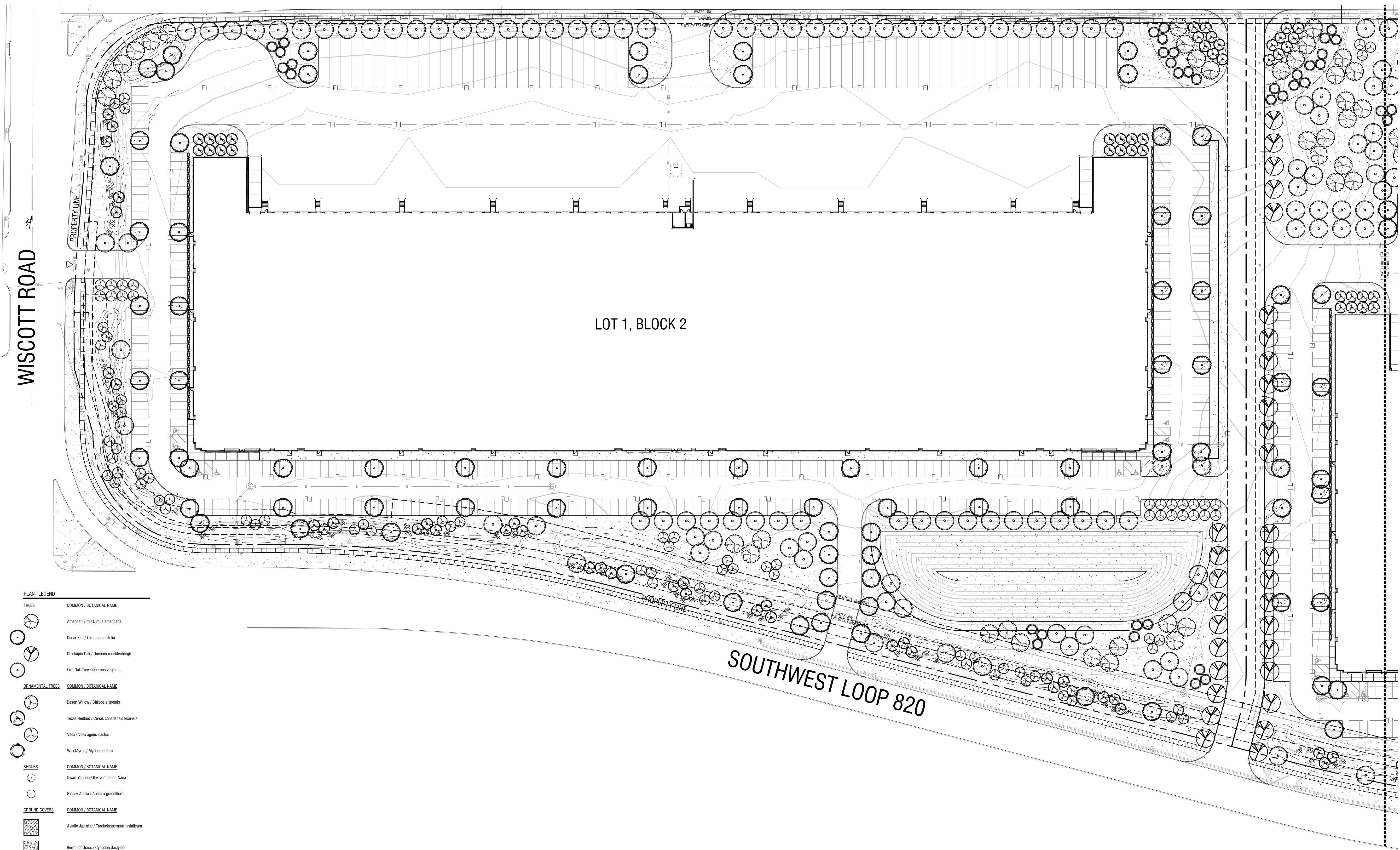
LANDSCAPE PLAN

Scale: 1" = 50'- 0"

A



PLANT LEGEND	
TREES	<u>COMMON / BOTANICAL NAME</u>
	American Elm / <i>Ulmus americana</i>
	Oak Elm / <i>Quercus crassifolia</i>
	Chinquapin Oak / <i>Quercus muhlenbergii</i>
	Live Oak Tree / <i>Quercus virginiana</i>
<u>ORNAMENTAL TREES</u>	<u>COMMON / BOTANICAL NAME</u>
	Desert Willow / <i>Chilopsis linearis</i>
	Texas Redbud / <i>Cercis canadensis texensis</i>
	Vitex / <i>Vitex agnus-castus</i>
	Wax Myrtle / <i>Myrica cerifera</i>
<u>SHRUBS</u>	<u>COMMON / BOTANICAL NAME</u>
	Dwarf Yaupon / <i>Ilex vomitoria</i> 'Nana'
	Glossy Abelia / <i>Abelia x grandiflora</i>
<u>GROUND COVERS</u>	<u>COMMON / BOTANICAL NAME</u>
	Asiatic Jasmine / <i>Trachelospermum asiaticum</i>
	Bermuda Grass / <i>Cynodon dactylon</i>



PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
5. FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
6. ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
7. LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
9. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
10. ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
11. ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
12. ALL PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
13. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
14. ALL LINE STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPOVED TOPSOIL FILL.
15. CONTRACTOR TO PROVIDE 12 MONTH WATERWAYS AND MAINTENANCE FOR ALL PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION.
16. ALL TREES OVERHANGING PEDESTRIAN PATHWAYS TO BE PRUNED TO BE 7' CLEAR. ALL TREES OVERHANGING FIRE LINE / VEHICULAR STREET TO BE PRUNED TO BE 14' CLEAR.
17. ALL AREAS OUTSIDE LOW DISBURBED BY CONSTRUCTION ACTIVITY TO BE FINE GRADED AND PLANTED WITH BERMUDA HYDROMULCH WITH TEMPORARY IRRIGATION UNTIL ESTABLISHED.

Benbrook Industrial Park - LOT 1, BLOCK 1		
LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
Bufferyard (Category 'E') - WISCOTT ROAD (min. 10' width)	454.0 LF	
Earthen Berm (3' HT, 75% min. length of total buffer)	340.5 LF	364.0 LF
Canopy Trees (1 Tree per 100 LF)	5	5
Understory Trees (2 Trees per 100 LF)	9	9
Shrubs (8 Shrubs per 100 LF)	36	36
Landscape Requirements		
Landscape Area (10% of BLDG Footprint)	7,980.0 LF	47,469.0 LF
Canopy Trees (1 Tree per 600 SQ. FT)	13	13
Understory Trees (1 Tree per 300 SQ. FT)	27	27
Understory Trees in Bufferyard		27
Understory Trees in Interior Landscape Area		0
Shrubs (1 Shrub per 120 SQ. FT)	67	141
Groundcover (10% of required landscape area)	798.0 LF	1,020.0 LF
Parking Trees		
Parking Lot Trees (1 tree per 10 spaces / 1125 spaces total)	13	13

TOTALS	REQUIRED	PROVIDED
Required Canopy Trees		
(Bufferyard + Landscape Area + Parking Lot)	31	31
- Additional Canopy Trees - Site (Mitigation Replacement)		28
Total Canopy Trees		59
Required Understory Trees		
(Bufferyard + Landscape Area)	36	36
- Additional Understory Trees (Mitigation Replacement)		0
Total Understory Trees		36

Benbrook Industrial Park - LOT 1, BLOCK 2			
LANDSCAPE REQUIREMENTS		REQUIRED	PROVIDED
Bufferyard (Category 'E') - WISCOTT ROAD (min. 10' width)		570.0 LF	
Earthen Berm (3' HT, 75% min. length of total buffer)		427.5 LF	439.0 LF
Canopy Trees (1 Tree per 100 LF)		6	6
Understory Trees (2 Trees per 100 LF)		11	11
Shrubs (8 Shrubs per 100 LF)		46	46
Bufferyard (Category 'E') - SOUTHWEST LOOP 820 (min. 10' width)		1,096.0 LF	
Earthen Berm (3' HT, 75% min. length of total buffer)		822.0 LF	1,012.0 LF
Canopy Trees (1 Tree per 100 LF)		11	11
Understory Trees (2 Trees per 100 LF)		22	22
Shrubs (8 Shrubs per 100 LF)		88	88
Landscape Requirements			
Landscape Area (10% of BLDG Footprint)		26,676.0 LF	
Canopy Trees (1 Tree per 600 SQ. FT)		44	44
Understory Trees (1 Tree per 300 SQ. FT)		89	89
Understory Trees in Bufferyard			75
Understory Trees in Interior Landscape Area			14
Shrubs (1 Shrub per 120 SQ. FT)		222	390
Groundcover (10% of required landscape area)		2,667.6 LF	3,048.0 LF
Parking Trees			
Parking Lot Trees (1 tree per 10 spaces / 1125 spaces total)		39	39

TOTALS	REQUIRED	PROVIDED
Required Canopy Trees (Bufferyard + Landscape Area + Parking Lot)	100	100
- Additional Canopy Trees - Site (Mitigation Replacement)		91
Total Canopy Trees		191
Required Understory Trees (Bufferyard + Landscape Area)	122	122
- Additional Understory Trees (Mitigation Replacement)		44
Total Understory Trees		166

**This table represents all planting required by Benbrook, TX Landscape Code*

Benbrook Industrial Park - LOT 2, BLOCK 2		
LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
Bufferyard (Category 'E') - SOUTHWEST LOOP 820 (min. 10' width)	1,314.0 LF	
Earthen Berm (3' HT, 75% min. length of total buffer)	985.5 LF	1,099.0 LF
Canopy Trees (1 Tree per 100 LF)	13	13
Understory Trees (2 Trees per 100 LF)	26	26
Shrubs (8 Shrubs per 100 LF)	105	134
Landscape Requirements		
Landscape Area (10% of BLDG Footprint)	35,154.0 LF	333,123.0 LF
Canopy Trees (1 Tree per 600 SQ. FT)	59	59
Understory Trees (1 Tree per 300 SQ. FT)	117	117
Understory Trees in Bufferyard		48
Understory Trees in Interior Landscape Area		69
Shrubs (1 Shrub per 120 SQ. FT)	293	454
Groundcover (10% of required landscape area)	325.4 LF	4,101.0 LF
Parking Trees		
Parking Lot Trees (1 tree per 10 spaces / 1125 spaces total)	46	46

TOTALS	REQUIRED	PROVIDED
Required Canopy Trees	118	118
(Bufferyard + Landscape Area + Parking Lot)		
- Additional Canopy Trees - Site (Mitigation Replacement)		142
Total Canopy Trees		260
Required Understory Trees	143	143
(Bufferyard + Landscape Area)		
- Additional Understory Trees (Mitigation Replacement)		1
Total Understory Trees		144







**This table represents all planting required by Benbrook, TX Landscape Code*

Benbrook Industrial Park - LOT 3, BLOCK 1		
	REQUIRED	PROVIDED
Landscape Requirements		
Landscape Area (10% of BLDG Footprint)	17,766.0 LF	137,518.0 LF
Canopy Trees (1 Tree per 600 SQ. FT)	30	30
Understory Trees (1 Tree per 300 SQ. FT)	59	59
Understory Trees in Bufferyard		
Understory Trees in Interior Landscape Area		59
Shrubs (1 Shrub per 120 SQ. FT)	148	165
Groundcover (10% of required landscape area)	1,776.6 LF	3,997.0 LF
Parking Trees		
Parking Lot Trees (1 tree per 10 spaces / 1125 spaces total)	18	18

TOTALS	REQUIRED	PROVIDED
Required Canopy Trees	48	48
(Bufferyard + Landscape Area + Parking Lot)		
- Additional Canopy Trees - Site (Mitigation Replacement)		45
Total Canopy Trees		93
Required Understory Trees	59	59
(Bufferyard + Landscape Area)		
- Additional Understory Trees (Mitigation Replacement)		35
Total Understory Trees		94

**This table represents all planting required by Benbrook, TX Landscape Code*

CODE PLANTING SCHEDULE:

TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	American Elm / <i>Ulmus americana</i>	4" cal	12' -14' ht		107	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Cedar Elm / <i>Ulmus crassifolia</i>	4" cal	12' -14' ht		183	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Chinkapin Oak / <i>Quercus muehlenbergii</i>	4" cal	12' -14' ht		72	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Live Oak Tree / <i>Quercus virginiana</i>	4" cal	12' -14' ht		241	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
ORNAMENTAL TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Desert Willow / <i>Chilopsis linearis</i>	45 gal	6' -8' ht		62	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.)
	Texas Redbud / <i>Cercis canadensis texensis</i>	45 gal	6' -8' ht		167	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	<i>Vitex</i> / <i>Vitex agnus-castus</i>	45 gal	6' -8' ht		121	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Wax Myrtle / <i>Myrica cerifera</i>	45 gal	6' -8' ht		90	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
SHRUBS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Dwarf Yaupon / <i>Ilex vomitoria</i> 'Nana'	3 gal	24" h x 24" w	36" OC	325	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Glossy Abelia / <i>Abelia x grandiflora</i>	3 gal	24" h x 24" w	36" OC	775	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
GROUND COVERS	COMMON / BOTANICAL NAME	CONT.	SIZE		QTY	
	Asiatic Jasmine / <i>Trachelospermum asiaticum</i>	1 gal	6" h X 6" w		12,217 sf	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Bermuda Grass / <i>Cynodon dactylon</i>	sod			1,148,708 sf	REFER TO SPECIFICATIONS

WINSCOTT @ 20 INDUSTRIAL - TREE MITIGATION		
MITIGATION CATEGORY:	REMOVED (DBH)	REQUIRED (DBH)
Large Quality (1.1 replacement ratio)	433.2	433.2
Large Secondary (1.0.75 replacement ratio)	718.7	539.0
Quality (1.1 replacement ratio)	2001.4	2001.4
Secondary (1.0.5 replacement ratio)	2928.4	1464.2
TOTAL MITIGATION REQUIRED	6081.7	4437.8

TOTALS	REQUIRED	PROVIDED	INCHES	TOTAL PROVIDED
Required Canopy Trees (Bufferyard + Landscape Area + Parking Lot)	297	297	3	891
- Additional Canopy Trees - Site (Mitigation Replacement)		306	3	918
Total Canopy Trees		603		1,809
Required Understory Trees (Bufferyard + Landscape Area)	360	360	2	720
- Additional Understory Trees (Mitigation Replacement)		80	2	160
Total Understory Trees		440		880
TOTAL MITIGATION PROVIDED		60.59%		2,689
TOTAL MITIGATION REMAINING		1,749	\$100	\$174,880

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Kimley»»Horn
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260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-12580 FAX: 972-339-3820
WWW.KIMLEY-HORN.COM TX F-928

The image shows the Kimley-Horn logo, which consists of the company name in a serif font with a stylized double arrow pointing to the right. Below the logo is a rectangular stamp with a double border. Inside the stamp, the word "PRELIMINARY" is at the top in a bold, sans-serif font. Below it, the text "FOR REVIEW ONLY" and "Not for construction or permit purposes" is centered. At the bottom of the stamp, there are two lines: "P.L.A. _____ Paul D. Freeland" and "L.A. No. 2458 Date 02/09/2022".

KHA PROJECT 063411012		DATE 02/09/2022		SCALE AS SHOWN		DESIGNED BY PDF		DRAWN BY JRK		CHECKED BY PDF	
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BENBROOK INDUSTRIAL PARK

BENBROOK, TEXAS

CODE NOTES AND CALCULATIONS

SHEET NUMBER
L1.06

[illegible]

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P.L.A.	Paul D. Freeland
L.A. No.	2458 Date 02/09/2022

02/09/2022

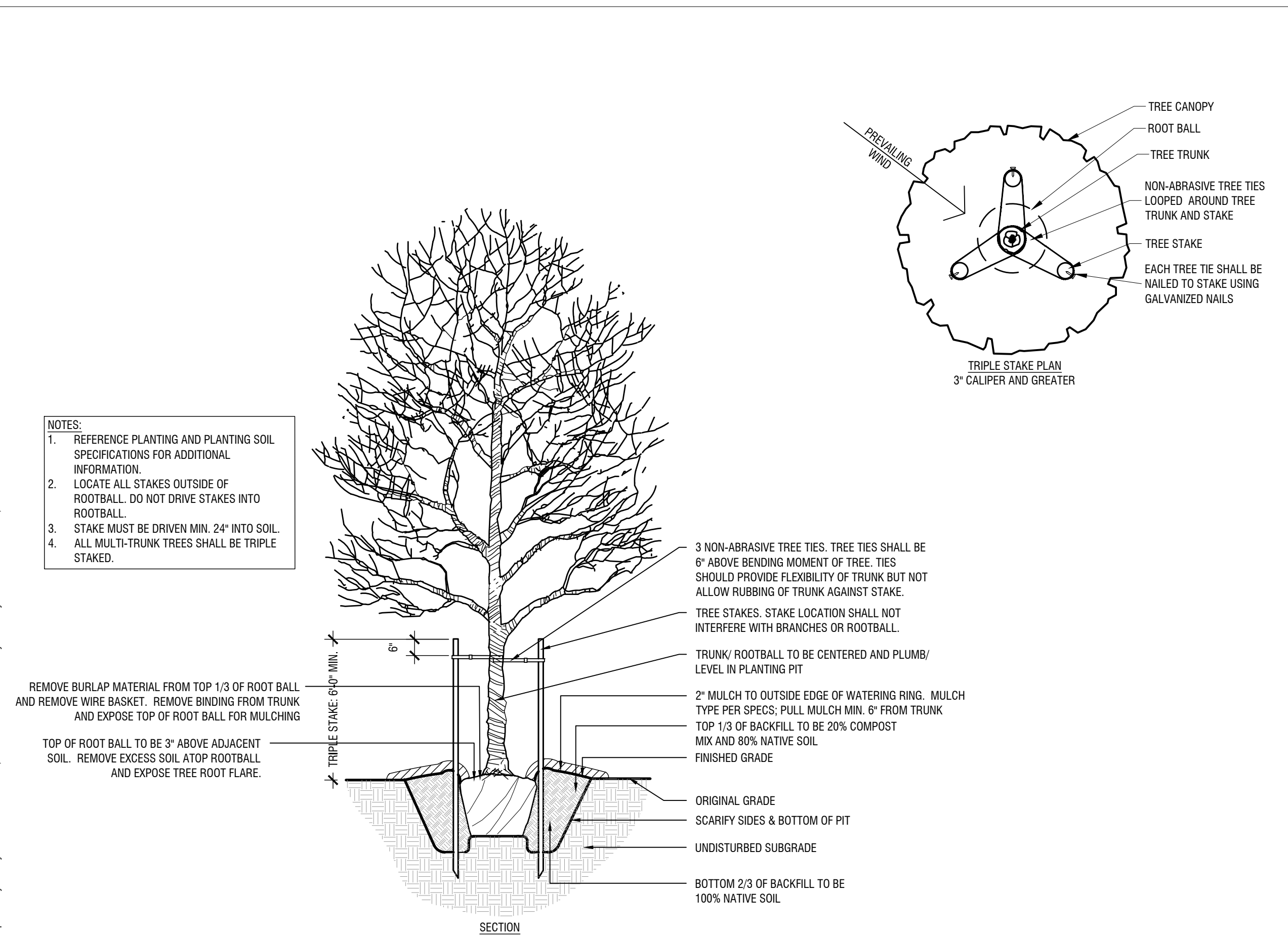
KHA PROJECT 063411012	DATE 02/09/2022	SCALE	AS SHOWN	DESIGNED BY	PDF	DRAWN BY	JRK	CHECKED BY	PDF
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BENBROOK INDUSTRIAL PARK

BENBROOK, TEXAS

PLANTING DETAILS

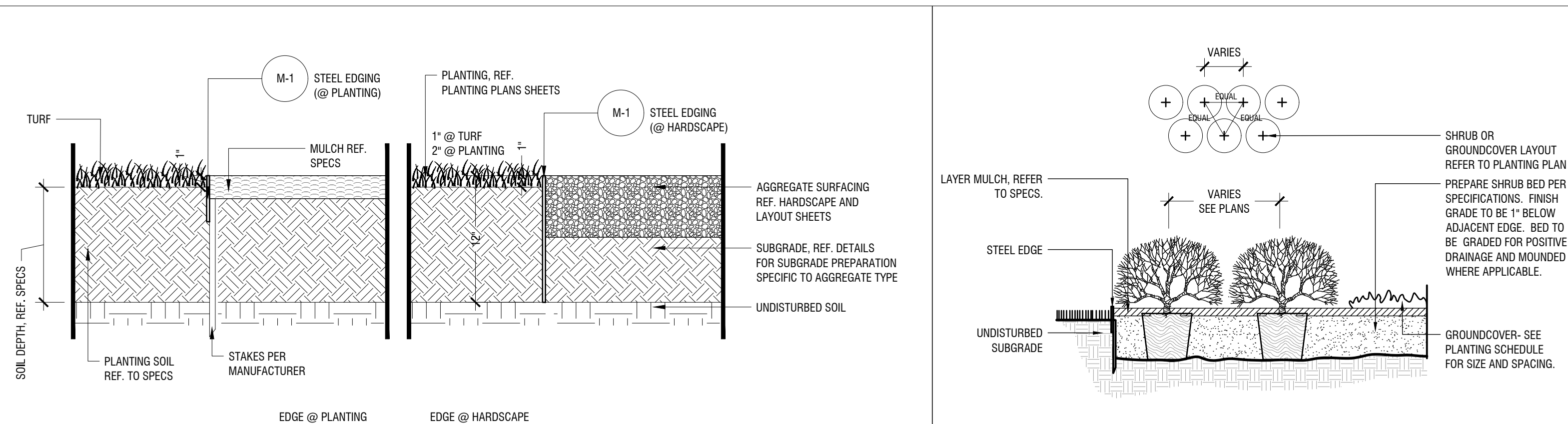
SHEET NUMBER
L1.07



Canopy Tree - 5" or Smaller (Above Grade Tree Stakes)

Scale: 1/2"=1'-0"

A



Steel Edge

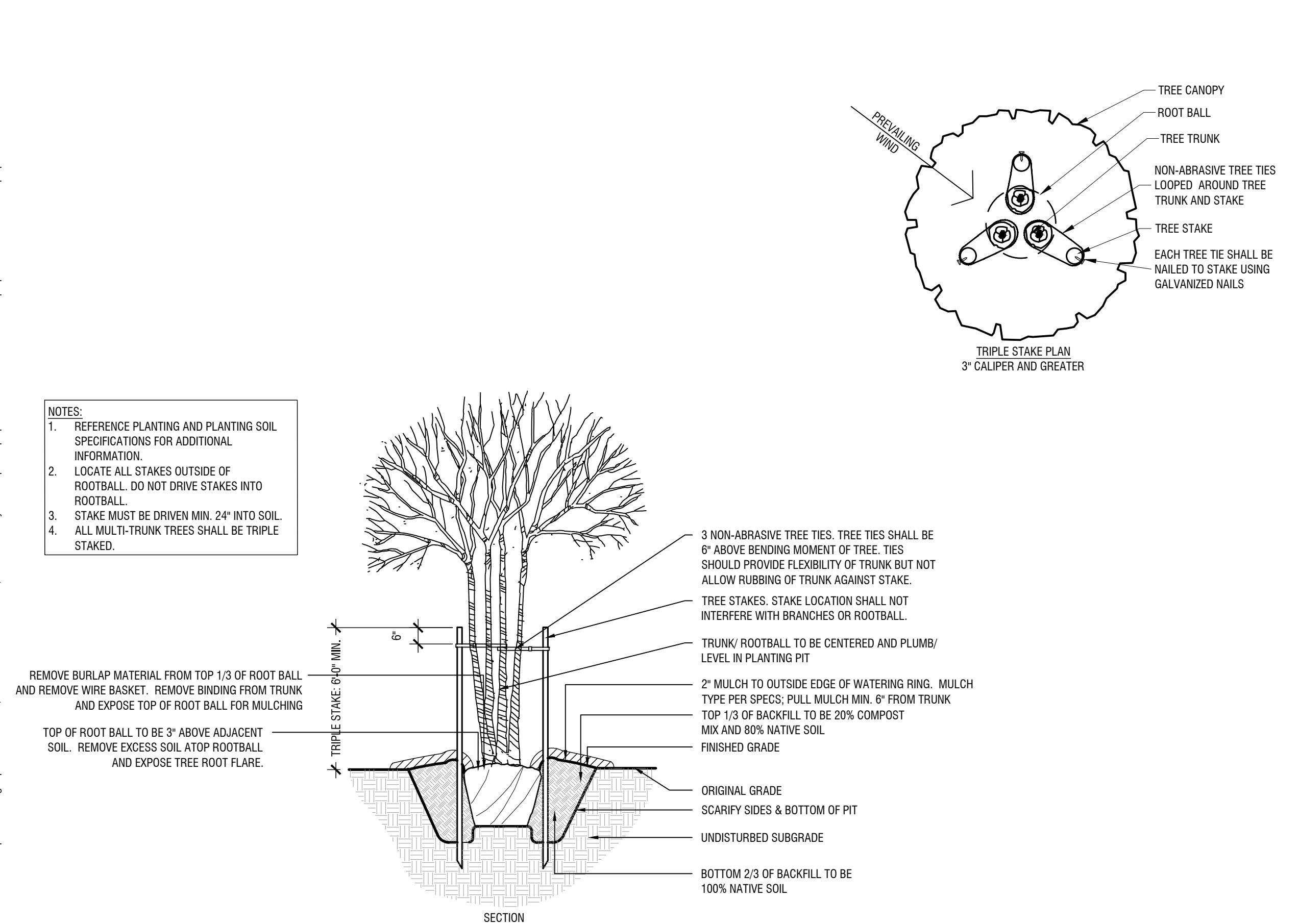
Scale: 1 1/2" = 1'-0"

C

Shrubs & Groundcover

Scale: 1/2" = 1'-0"

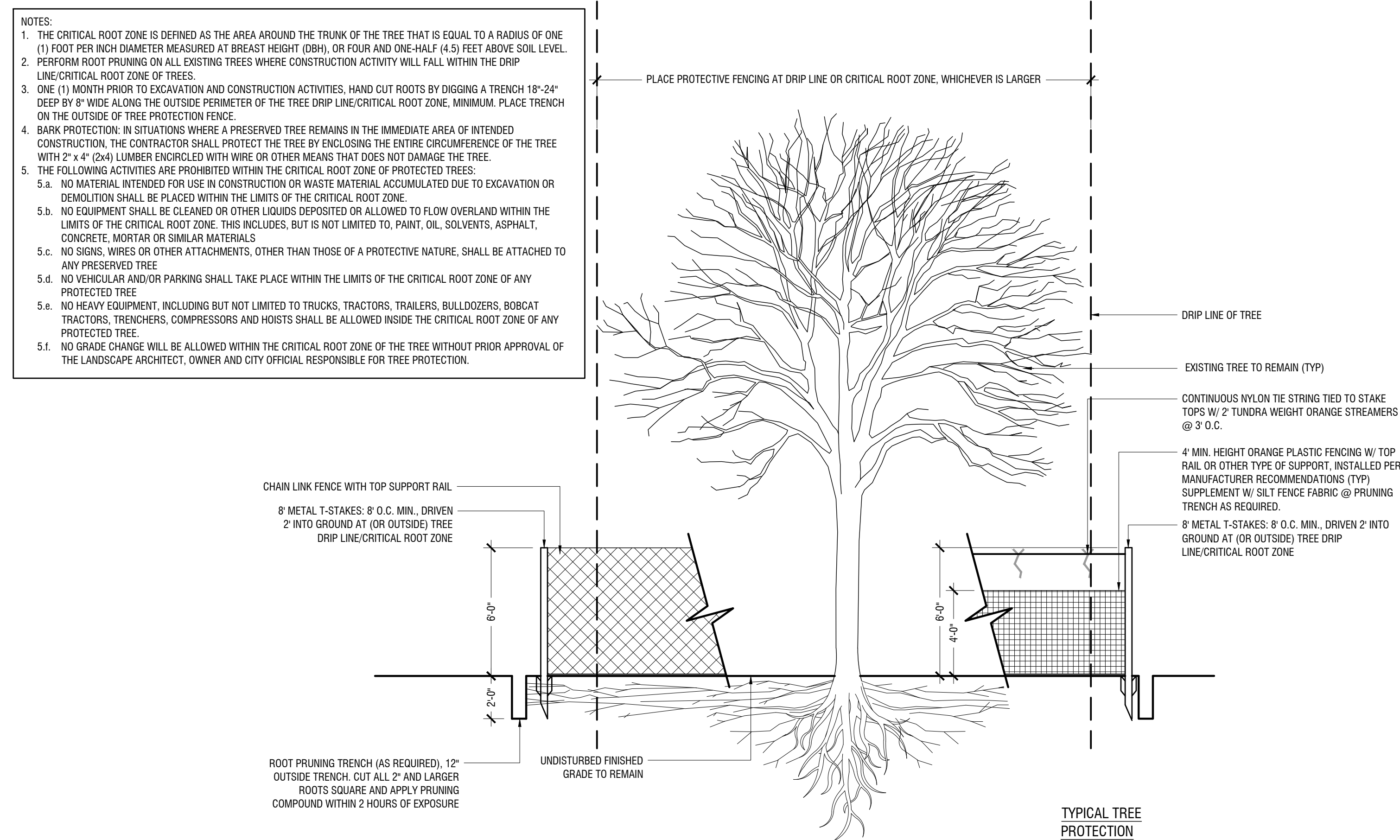
D



Multi-Trunk / Ornamental Tree (Above Grade Stakes)

Scale: 1/2"=1'-0"

B



TYPICAL TREE PROTECTION

Tree Protection Fencing

Scale: 1/4" = 1'-0"

E

Staff Comments

Project: Northeast Winscott

Date: March 10, 2022

RE: SP-22-01 Site Plan



Unless otherwise indicated, references provided refer to the Benbrook Municipal Code

Site Plan

1. When submitting for building permits, include an addressing plan for each building. Contact planning staff for assistance with addressing.
2. As outlined in the PD Ordinance (Ord. 1478), show the location and details of the screening for the trailer storage.
3. Change the name of the project from "Benbrook Industrial Park". There is already a Benbrook Industrial Park established within the city.
4. If future tenant's operations include outside storage areas, a new site plan application must be reviewed by the Planning and Zoning Commission. Outside storage areas must be identified and plans must demonstrate compliance with screening requirements on future site plan applications.
5. Overhead doors shall be oriented away from the view of any freeway, public street unless screened by a minimum eight-foot masonry wall and/or masonry fence (17.84.100.A.4.c). Provide screening location and details.
6. For all lots, the maximum driveway width shall not exceed 30 ft. per Section 16.28.025.D.11.f.2.
7. The parking area on the east side of building 1 needs to be designated as a fire lane.

Landscape Plan

1. Update the table for "Lot 1, Block 1" to be "Lot 1R, Block 1".
2. Required landscaping for bufferyards, interior landscaping, and parking lot landscaping are calculated separately. Ensure calculations are not double counting or sharing plantings.
3. Parking lot landscaping. Provide more detail to show compliance with planting size, location, and dimensional requirements for:
 - a. Endcap islands (17.98.050)
 - b. Interior islands (17.98.050)
 - c. Parking areas adjacent to street bufferyards or other parking lots (17.98.050)
4. Demonstrate you are meeting the minimum landscape and tree canopy requirements (17.98.060):
 - a. 20% of the lot shall be landscaped; calculations include all landscaped bufferyard areas, landscaping in the adjacent public rights-of-way, interior landscaped areas, undisturbed vegetative areas, and parking lot landscaped areas.
 - b. 30% tree canopy cover for the lot is required, measured by the tree's estimated mature canopy spread.
5. A type "B" bufferyard is required on the following property lines:
 - a. Lot 1, Block 2 adjacent to Winbrook Dr
 - b. Lot 2, Block 2 adjacent to Winbrook Dr
 - c. Lot 2, Block 2 adjacent to Benbrook Parkway
 - d. Lot 3, Block 1 adjacent to Benbrook Parkway
6. Provide details (drawings and slope) for the proposed "earthen berms".
7. In the planting schedule, show the estimated canopy tree's mature canopy coverage (sqft).
8. Each lot needs its own plant schedule. You can leave the overall plant schedule, but each lot's landscaping must be calculated and demonstrate compliance independently.

Staff Comments

Floodplain Comments

1. A floodplain development permit will need to be submitted and approved prior to the start of construction.
2. Building nomenclature needs to be consistent in the plans. Some sheets identify buildings with numbers and other sheets as letters.
3. Some contour lines just have "?" and no numbers.





February 25, 2022

Doug Howard
City Planner | City of Benbrook, Texas
911 Winscott Road
Benbrook, Texas 76126

RE: *Winscott & I-20 Development Tree Preservation*

Mr. Howard,

Kimley-Horn has prepared this technical memorandum, on behalf of Jackson-Shaw (developer), in support of a request of a variance from Section 16.28.010 of the City of Benbrook Subdivision Ordinance, to be approved by the City of Benbrook Planning and Zoning Commission.

This memorandum and the variance request apply to the ±63-acre development that is proposed at the northeast corner of Winscott Road and Interstate-20 in Benbrook, Texas. The specific variance requests and supporting information is included in this memorandum.

Please contact me at jeff.landon@kimley-horn.com should you need any additional information.

Sincerely,

A handwritten signature in black ink, appearing to be "JL" or "Jeff Landon".

Jeff Landon, P.E. (TX)
Associate



Background

City of Benbrook Ordinance No. 1410 established the rules and regulations for Section 16.28.010 - Preservation of Trees and Native Vegetation. This memo was prepared in support of an alternative to that ordinance for the tree inventory plan and tree preservation requirements, as specifically described below. The *sections* referenced in the memo below are subsections of 16.28.010.

Certain portions of the proposed development are exempt from this ordinance according to section E. Those areas include visibility triangles as defined on a plat (E.4), public utilities (E.5), right-of-way and the adjacent utility easements (E.12), and drainage facilities (easements and detention ponds; E-13). For the area of the proposed development that falls within one of those categories, the tree preservation and mitigation calculations have been excluded.

Tree Survey/ Tree Inventory Plan

Section K.2 of the ordinance requires that an applicant prepare a drawing showing the location and species of each tree with a trunk six inches or greater dbh. Due to the dense tree coverage and size of the existing property, the developer is requesting approval of an alternative Tree Inventory Plan, as described below.

In lieu of a survey of every tree across the site, the proposed Tree Inventory Plan would provide a survey of tree samplings for the areas of dense forestation (as shown on Exhibit A). The tree sampling areas (shown in blue on Exhibit A) will be used to estimate the total inches in the overall dense forestation area.

The tree sampling areas were sporadically scattered throughout the areas of dense forestation in an effort to obtain an accurate sample of the average coverage for tree size and type. Based upon previous experience in using tree samplings, the sampling areas were required to include a minimum of 0.1-acres and comprise 5% of the total area of dense forestation. The total sample area ended up compromising 7% of the total dense forestation area.

Per code requirement, all trees in each sample area (greater than 6" dbh) were surveyed and cataloged by dbh and tree type. That data was then separated into the code required categories of Quality Trees, Large Quality Trees, Secondary Trees and Large Secondary Trees. Once the sample data was obtained, the dense forestation areas were broken up into sub-tracts (shown on Exhibit B). These sub-tracts were determined to be areas having similar character of trees based upon sample data and on-ground observations.

After separating the dense forestation areas, the sampling data for each sub-tract was extrapolated to be applied to the overall sub-tract area. Within each sample area, the total surveyed dbh inches were summed for each tree type, and then divided by the total area of the samples, to obtain an average



dbh/ acre. That average was then multiplied by the total area of the sub-tract to estimate the total dbh per tree type in the sub-tract. This process was repeated for each sub-tract.

The data of trees located within the sample areas and the extrapolated data of the total sub areas is shown in Exhibit C. The following Tree Preservation and Tree Mitigation Calculations were based upon that sampling method described above.

Tree preservation

Per section F.5 the minimum percentage of protected trees required to be preserved shall not be less than shown on table 16-A1. Pursuant to section G, an Alternative Tree Preservation Plan (ATPP) may be approved by the Planning and Zoning Commission. The developer is requesting approval of an ATPP per the below memo. The criteria for approval and how the proposed ATPP meets each requirement is included below.

Criteria for approval of ATPP:

1. The proposed ATPP adequately achieves, or is an improvement on the intent of the requirements of the ordinance per the following:
 - a. Promoting preservation of trees by maintaining minimum tree preservation percentages for Quality and Large Quality trees as noted below
 - b. Protecting trees during construction by maintaining the tree protection requirements of the ordinance.
 - c. Facilitate site design and construction to long-term viability of existing trees by requiring a minimum contiguous area of preservation. This requirement will promote tree stands being preserved. These larger conglomerates of preservation areas will lead to less encroachment upon preservation areas by site design and construction.
 - d. Increase property values and promote environmental sustainability by strategically providing a healthy preservation requirement focused on quality and large quality trees while allowing for high use of the property for building and infrastructure.
 - e. Regulate removal of trees by continuing to provide mitigation requirements as described in the City code.
2. The ATPP assures quality development that fits in with the character of Benbrook
 - a. The regulations governing land development in the City of Benbrook provide a balance between environmental sustainability and promoting development growth across the City. The proposed ATPP provides relief from the regulations in the ordinance to allow for viable development of the site, while providing regulations to promote preservation of existing trees and regulations to provide enhanced landscaping throughout the development. The ATPP promotes preservation of quality trees, especially in the area adjacent to the Clear Fork of the Trinity river, matching the existing character of tree conglomerates around the City.
3. It clearly states the intended preservation objectives.
 - a. The proposed alternative preservation requirements shall apply to the overall development included in the PD Zoning case (Ordinance No. 1478) and are as follows:
 - i. 20% of Large Quality Trees shall be preserved



- ii. 20% of Quality Trees shall be preserved
- iii. No preservation is required for Secondary or Large Secondary Trees
- iv. Preservation calculations based upon the alternative Tree Survey/ Tree Sampling Plan described in this memo shall have a minimum preservation area of 0.25 acres.
- v. Areas noted in Section E of Section 16.28.010 remain exempt
- b. The objectives of these proposed preservation rates include the following:
 - i. Focus on preserving tree stands rather than individual trees.
 - ii. Maintain preservation in buffer areas around the site (specifically along the southern property's proximity to the residential use to the east).
 - iii. Focus on preservation of Quality and Large Quality trees.
 - iv. Strategic preservation locations to allow for development of buildings

Conclusion

Based upon the information provided in the report, it is believed that the alternatives to the tree inventory plan and tree preservation plan meet the intent of Section 16.28.010 - Preservation of Trees and Native Vegetation.

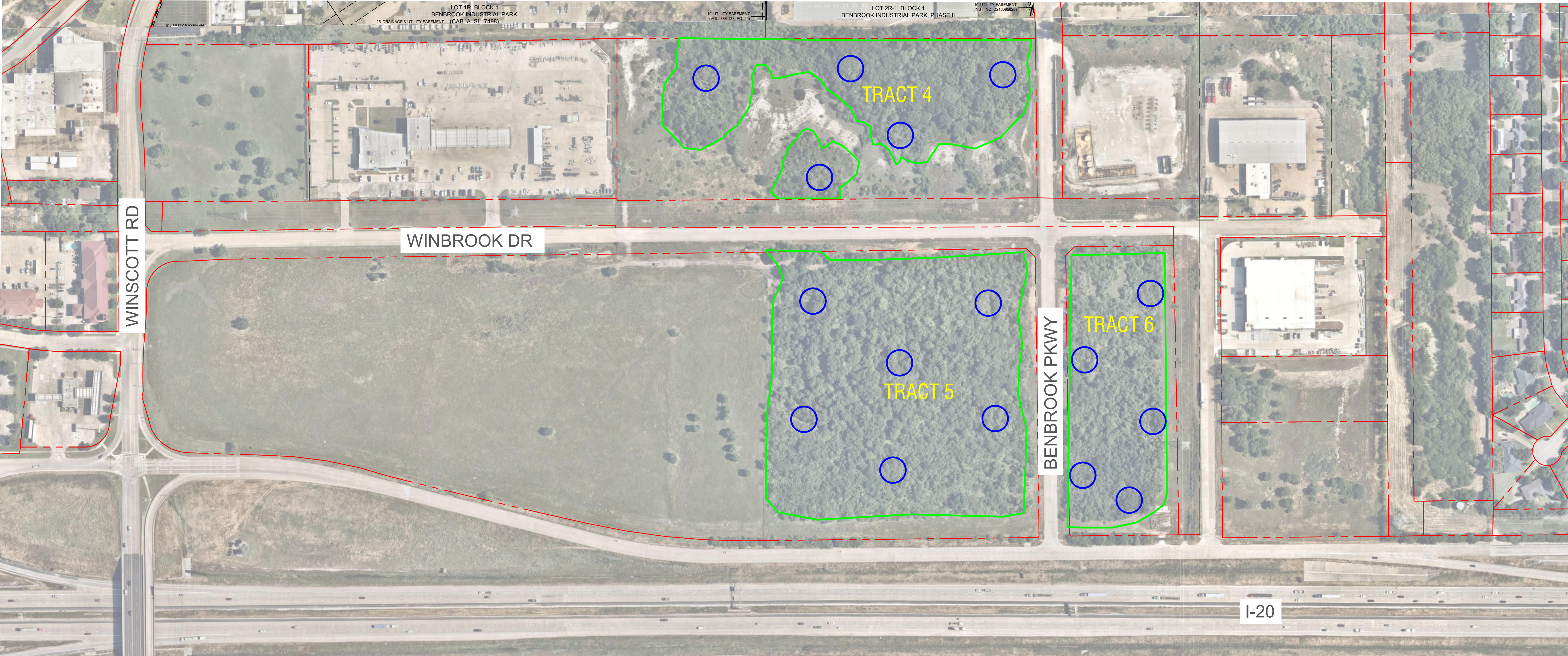
Appendix

Exhibit A –Tree Sampling Exhibit

Exhibit B – Tree Preservation Plan

Exhibit C – Tree Sampling Data

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DATE SAVID: 2/10/2022 11:52 AM
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OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



SITE INFORMATION					
Tract	Area (sq. ft)	Acres	Number of Samples	Total Area Sampled (AC)	% Sampled
4	278,064	6.4	5	0.5	8%
5	549,743	12.6	6	0.6	5%
6	218,849	5.0	5	0.5	10%
Total	1,046,656	24.0	16.0	1.6	7%

LEGEND

PROPERTY LINE

EXISTING DENSE TREE COVER

PROPOSED SAMPLING AREA

TRACT LABEL

SITE CALCULATIONS

TOTAL PROPERTY AREA: 63 ± ACRES

DENSE TREE COVER AREA: 24 ± AC (38% OF SITE)

TOTAL AREA SAMPLED: 1.6 AC (7% OF DENSE TREE COVERAGE)

USING 16 - 0.1-ACRE SAMPLE AREAS FOR A TOTAL OF 1.6 ACRES TO SERVE AS 7% REPRESENTATIVE SAMPLE FOR THE TOTAL TREE COVERAGE ON SITE. THE DBH CALIPER INCHES FOR EACH TYPE OF TREE FOUND IN THE SAMPLE AREAS WILL THEN BE APPLIED ACROSS THE ASSOCIATED TRACT AND SUBTRACTS TO ESTABLISH THE EXISTING TOTAL TREES/INCHES FOR THE SITE AND USED TO PREPARE A TREE MITIGATION PLAN.

REVISIONS		DATE	BY
No.			

TREE SAMPLING EXHIBIT

EXHIBIT A

BENBROOK INDUSTRIAL PARK

PROJECT No. 063411012

DATE: FEBRUARY 2022

SCALE: AS SHOWN

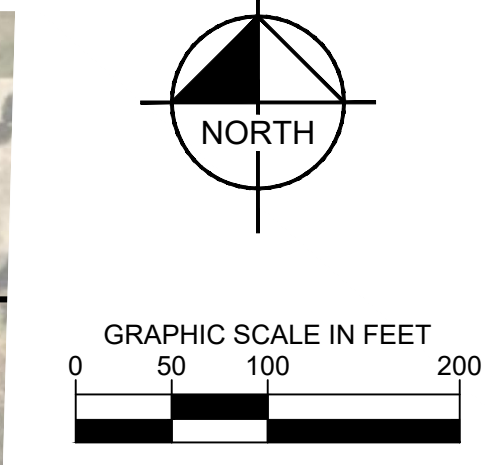
DESIGNED BY: KHA

DRAWN BY: KHA

CHECKED BY:

2/9/2022

801 CHERRY ST., UNIT 11, STE 1300, FORT WORTH, TX 76102
PHONE: 817-335-6511 FAX: 817-335-5070
TEXAS REGISTERED ENGINEERING FIRM F-928








Preservation Summary			
Stand Inputs		Stand Outputs	
Stand Number	% of Stand Preserved	Acres Preserved	Acres Removed
12	0%	0.0	4.3
13	36%	0.74	1.3
14	21%	2.6	10.0
15	0%	0.0	2.4
16	0%	0.0	2.7
Total		3.3	20.7
City Comparison			
Tree Type	Prop. Preservation Rate	City Preservation Rate	
Large Quality	23%	70%	
Large Secondary	30%	20%	
Quality	14%	20%	
Secondary	28%	0%	
DBH Type		City Required Preservation	Percent of Requirement
Quality		1147	50%
Total		1323	137%

SITE INFORMATION		
Subtract	Area (sq. ft)	Acres
12	188,494	4.3
13	89,569	2.1
14	549,743	12.6
15	102,670	2.4
16	116,180	2.7
Total	1,046,656	24.0

SAMPLE SIZE			
Subtract	Number of Samples	Area Sampled (Acres)	% Sampled
12	4	0.4	9%
13	1	0.1	5%
14	6	0.6	5%
15	3	0.3	13%
16	2	0.2	7%
Total	16	1.6	7%

NOTE: ALTERNATIVE TREE PRESERVATION REQUIREMENTS ARE BEING PROPOSED FOR THIS SITE. REFERENCE "WINSOFT & I-20 DEVELOPMENT TREE PRESERVATION AND MITIGATION" MEMORANDUM BY KIMLEY-HORN DATED 2/9/2022 TO DOUG HOWARD FOR DETAILED ALTERNATIVE PRESERVATION AND MITIGATION REQUESTS.

LEGEND


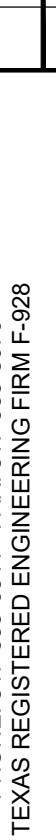
	PROP. EASEMENT AREA REDUCTION
	PROP. EASEMENT
	STAND AREA
	PROP. PRESERVATION AREA
	SAMPLE PLOT LOCATION
15	SAMPLE PLOT NUMBER



PROJECT No. 063411012	DATE: FEBRUARY 2022	SCALE: AS SHOWN	DESIGNED BY: KHA	DRAWN BY: KHA	CHECKED BY: KHA
--------------------------	------------------------	-----------------	------------------	---------------	-----------------

Tree Sample Data						
Survey Information		Subtract Number	Tree Number	Species	DBH (in)	Tree Type
Subtract 12	Plot 1	12	1	hackberry	6	Secondary
		12	2	hackberry	6	Secondary
		12	3	hackberry	6	Secondary
		12	4	hackberry	6.3	Secondary
		12	5	hackberry	6.8	Secondary
		12	6	hackberry	8.2	Secondary
		12	7	mesquite	8.2	Secondary
		12	8	mesquite	8.8	Secondary
		12	9	hackberry	9	Secondary
		12	10	cedar elm	10.3	Quality
		12	11	hackberry	10.8	Secondary
	Plot 2	12	1	hackberry	6.5	Secondary
		12	2	Osage-orange (male)	8.3	Quality
		12	3	hackberry	9	Secondary
		12	4	hackberry	9.6	Secondary
		12	5	hackberry	10	Secondary
		12	6	hackberry	10.2	Secondary
		12	7	hackberry	11.1	Secondary
		12	8	cedar elm	13.6	Quality
		12	9	hackberry	14.1	Secondary
		12	10	hackberry	14.2	Secondary
		12	11	cedar elm	15.3	Quality
	12	12	slippery elm	17.2	Quality	
	Plot 4	12	1	hackberry	6	Secondary
		12	2	hackberry	6	Secondary
		12	3	hackberry	6.8	Secondary
		12	4	hackberry	7.2	Secondary
		12	5	hackberry	7.5	Secondary
		12	6	cedar elm	8.2	Quality
		12	7	hackberry	8.8	Secondary
12		8	Japanese privet	8.8	Quality	
12		9	Japanese privet	9.2	Quality	
12		10	hackberry	9.8	Secondary	
Plot 5		12	1	Eastern redcedar	6	Quality
	12	2	mesquite	6.5	Secondary	
	12	3	hackberry	7.5	Secondary	
	12	4	hackberry	7.6	Secondary	
	12	5	mesquite	8.5	Secondary	
Subtract 13	Plot 3	12	6	hackberry	9.6	Secondary
		12	7	mesquite	15.5	Secondary
		13	1	hackberry	8.1	Secondary
		13	2	slippery elm	8.2	Quality
		13	3	hackberry	10	Secondary
		13	4	hackberry	12	Secondary
		13	5	slippery elm	12.8	Quality
Subtract 13	Plot 3	13	6	hackberry	14	Secondary
		13	7	hackberry	14.1	Secondary
		13	8	hackberry	14.3	Secondary
		13	9	hackberry	14.9	Secondary
		13	10	hackberry	15.2	Secondary
		13	11	slippery elm	15.4	Quality
Subtract 13	Plot 3	13	12	hackberry	16.1	Secondary
		13	13	hackberry	16.8	Secondary
		13	14	mesquite	24.3	Large Secondary
		13	15	slippery elm	26.3	Large Quality

Tree Sample Data							
Survey Information		Subtract Number	Tree Number	Species	DBH (in)	Tree Type	
Subtract 14	Plot 6	14	1	hackberry	6	Secondary	
		14	2	hackberry	6	Secondary	
		14	3	mesquite	6	Secondary	
		14	4	mesquite	6.2	Secondary	
		14	5	hackberry	7.2	Secondary	
		14	6	hackberry	7.2	Secondary	
		14	7	hackberry	8.5	Secondary	
		14	8	hackberry	9.3	Secondary	
		14	9	hackberry	10	Secondary	
		14	10	hackberry	10.1	Secondary	
	Plot 7	14	11	hackberry	12.8	Secondary	
		14	1	mesquite	11.3	Secondary	
		Plot 8	14	1	chinaberry	6	Quality
			14	2	Osage-orange (male)	6	Quality
			14	3	Osage-orange (male)	6	Quality
			14	4	mesquite	7.2	Secondary
			14	5	mesquite	8.6	Secondary
	14		6	hackberry	10.6	Secondary	
	14	7	hackberry	16.8	Secondary		
	14	8	hackberry	18.2	Large Secondary		
	Plot 9	14	1	hackberry	6	Secondary	
		14	2	hackberry	6	Secondary	
		14	3	honeylocust	6	Secondary	
		14	4	mesquite	6	Secondary	
		14	5	mesquite	6.3	Secondary	
		14	6	hackberry	8.3	Secondary	
		14	7	hackberry	8.6	Secondary	
		14	8	hackberry	8.7	Secondary	
		14	9	hackberry	9.2	Secondary	
		14	10	hackberry	10.1	Secondary	
		14	11	hackberry	10.2	Secondary	
		14	12	hackberry	12.3	Secondary	
	Plot 10	14	1	hackberry	6	Secondary	
		14	2	hackberry	6.4	Secondary	
		14	3	honeylocust	6.7	Secondary	
		14	4	Hercules'-club	7	Quality	
		14	5	hackberry	7.2	Secondary	
		14	6	hackberry	7.5	Secondary	
		14	7	hackberry	7.7	Secondary	
		14	8	gum bumelia	8.1	Secondary	
		14	9	mesquite	9.3	Secondary	
		14	10	hackberry	9.9	Secondary	
		14	11	hackberry	10	Secondary	
		14	12	gum bumelia	11.6	Secondary	
		14	13	hackberry	12.9	Secondary	
		14	14	hackberry	14	Secondary	
	Plot 11	14	1	hackberry	6	Secondary	
		14	2	hackberry	6	Secondary	
		14	3	hackberry	6.3	Secondary	
		14	4	mesquite	6.3	Secondary	
14		5	hackberry	6.4	Secondary		
14		6	hackberry	6.9	Secondary		
14		7	hackberry	7.1	Secondary		
14		8	hackberry	7.2	Secondary		
14		9	mesquite	7.7	Secondary		
14		10	mesquite	8.1	Secondary		
14		11	hackberry	9.2	Secondary		
14		12	hackberry	10.2	Secondary		
14		13	hackberry	10.3	Secondary		
14		14	hackberry	11.4	Secondary		
Subtract 15	Plot 76	15	1	mesquite	6.0	Secondary	
		15	2	chinaberry	6.5	Quality	
		15	3	mesquite	6.3	Secondary	
		15	4	mesquite	9.0	Secondary	
	Plot 77	15	1	cedar elm	40.5	Large Quality	
		15	2	cedar elm	6.3	Quality	
		15	3	cedar elm	7.1	Quality	
		15	4	hackberry	9.0	Secondary	
		15	5	Osage-orange (male)	13.2	Quality	
		15	6	cedar elm	9.7	Quality	
15		7	cedar elm	8.8	Quality		
Plot 78	15	1	honeylocust	6.1	Secondary		
	15	2	mesquite	11.5	Secondary		
	15	3	honeylocust	6.2	Secondary		
Subtract 16	Plot 79	15	4	mesquite	6.4	Secondary	
		16	1	mesquite	14.5	Secondary	
	Plot 80	16	2	mesquite	9.3	Secondary	
		16	1	hackberry	7.3	Secondary	
		16	2	mesquite	11.0	Secondary	
		16	2	mesquite	11.0	Secondary	

EXHIBIT C	TREE SAMPLING DATA	BENBROOK INDUSTRIAL PARK	PROJECT No: 063411012	 2/9/2022	 801 CHERRY ST. UNIT 11, STE 1300, FORT WORTH, TX 76102 PHONE: 817-335-6511 FAX: 817-335-5070 TEXAS REGISTERED ENGINEERING FIRM 1-328	No.	REVISIONS	DATE	BY

FEMA FLOODPLAIN - Block 3, Lot 1 (Bldg. 3)



Legend

- FLOODWAY
- 100 YEAR
- 500 YEAR

ORDINANCE NO. 1478

AN ORDINANCE OF THE CITY OF BENBROOK, TEXAS, REZONING 69.394 ACRES OF LAND OUT OF THE J. CAMBO SURVEY ABSTRACT NO 362 AND J. LANERI SURVEY ABSTRACT NO 1964, CITY OF BENBROOK, TARRANT COUNTY, TEXAS, FROM "F" COMMERCIAL, "G" COMMERCE AND "H" INDUSTRIAL DISTRICTS TO "G-PD" COMMERCE PLANNED DEVELOPMENT DISTRICT; AMENDING THE OFFICIAL ZONING AND FUTURE LAND USE MAPS TO REFLECT THE CHANGE; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION IN PAMPHLET FORM; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Benbrook is a home rule city acting under its own charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, Chapter 211 of the Local Government Code authorizes municipalities to regulate land use, structures, businesses, and related activities within its corporate limits for the purpose of promoting the public health, safety and general welfare of the community and protecting and preserving places and areas of historical, cultural and architectural importance and significance; and

WHEREAS, the property owner has initiated an application to amend the Future Land Use Map of the Comprehensive Plan; and

WHEREAS, the property owner has initiated an application to rezone certain property in accordance with the Future Land Use Map of the Comprehensive Plan; and

WHEREAS, a public hearing was held on the zone change request, Case No. Z-21-02/CP-21-02, by the Planning and Zoning Commission on the 9th day of December 2021 and by the City Council on the 20th day of January 2022; and

WHEREAS, all requirements of law dealing with other property owners, publications and all procedural requirements have been complied with in accordance with Chapter 211 of the Local Government Code; and

WHEREAS, the City Council has determined that it is advisable and in the public interest to authorize the requested Future Land Use Map of the Comprehensive Plan and zoning changes.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BENBROOK, TEXAS:

SECTION 1

That the Future Land Use Map of the Benbrook Comprehensive Plan, is hereby amended to change the land use designation from General Commercial (GC) and Industrial (IN) to Commerce (CM), on Tracts 1, 2 and 3, as described in Exhibit A, and depicted in Exhibit B.

SECTION 2

That Title 17 – Zoning of the Benbrook Municipal Code (1985), as amended, is hereby amended to change the zoning classification of 69.394 acres of land out of the J. Cambo Survey Abstract No 362 and J. Laneri Survey Abstract No 1964, City of Benbrook, Tarrant County, Texas, as described in Exhibit A, and depicted in Exhibit B, from “F” Commercial, “G” Commerce and “H” Industrial Districts to “G-PD” Commerce Planned Development District.

SECTION 3

The zoning district changes established by this ordinance are in accordance with the Comprehensive Plan of the City of Benbrook and will promote the health, safety, morals and general welfare of the community. The changes have been designed to lessen congestion in the streets, to secure safety from fire, panic, flood and other dangers, to provide for adequate light and air, to prevent overcrowding of land, to avoid undue concentration of population, to facilitate the adequate provisions of transportation, water, sewerage, parks and other public requirements. They have been made after a full and complete hearing with reasonable consideration, among other things, of the character of the districts and their peculiar suitability for particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

SECTION 4**“G-PD” COMMERCE PLANNED DEVELOPMENT DISTRICT REGULATIONS****1. AUTHORITY AND BASE ZONING DISTRICT.**

Unless otherwise stated herein, the definitions and regulations set forth in the City Zoning Ordinance in Title 17 of the City Code of Ordinances (the "Zoning Ordinance") apply to this Planned Development District (PD). In the event of conflict between the regulations set forth in this PD and the Zoning Ordinance, the regulations in this PD apply. The base zoning district for this PD is the “G” Commerce District. Unless otherwise stated, all regulations applicable to the “G” District apply to this District.

2. DEFINITIONS AND INTERPRETATIONS.

The definitions and regulations as set forth in the Zoning Ordinance apply to this PD.

3. USES.

(a) Unless otherwise stated, the permitted uses and accessory uses for this PD are the same uses and accessory uses permitted in the "G" Commerce District. If a use requires a Conditional Use Permit (CUP) in the “G” District, the same use requires a CUP in this PD.

(b) Indoor manufacturing and production are permitted uses.

(c) Trailer parking and outside storage of materials are allowed in conjunction with a warehouse or manufacturing uses only in designated truck courts or trailer parking areas. Trailer parking and outside storage of materials may be located in a front yard located north of Winbrook Drive and west of Benbrook Parkway subject to the screening requirements in paragraph 8 of this section.

4. DIMENSIONAL REGULATIONS.

(a) Unless otherwise stated, the dimensional regulations applicable in this PD are the same dimensional regulations applicable in the "G" Commerce District.

(b) Height. Maximum structure height is 60 feet. No maximum number of stories.

(c) Screening wall setback.

i. Minimum 5 feet from Winbrook Rd.

ii. Minimum 5 feet from Benbrook Parkway.

6. PARKING.

(a) Unless otherwise provided herein, parking must be provided in accordance with Section 17.88 of the Zoning Ordinance.

(b) For warehouse and light industrial uses, parking shall be provided in accordance with the following ratios:

Building square footage (sf.)	Minimum Parking Spaces Required
1-75,000 sf.	1 space per each 1,000 sf.
75,001-250,000 sf.	1 space per each 1,500 sf.
250,001-500,000 sf.	1 space per each 2,000 sf.
500,001 sf. and greater	1 space per each 3,000 sf.

(c) Bicycle parking. Bicycle parking as set forth in Section 17.88.50 of the Zoning Ordinance is not required.

7. LANDSCAPING.

Landscaping must be provided in accordance with Section 17.98 of the Zoning Ordinance.

8. SCREENING.

(a) Unless otherwise provided, required screening must be provided in accordance with the Zoning Ordinance.

(b) For outside storage, a minimum 8-foot screening wall is required and storage materials shall not exceed the height of the wall.

(c) Trailer storage must be screened from view from the grade-level of public rights-of-way by an 8-foot screening wall.

(d) Screening walls are not required on top of retaining walls.

(e) Roof-mounted equipment.

i. Roof-mounted equipment must be screened from view from I-20, Winscott Rd., and Benbrook Parkway.

- ii. Roof-mounted equipment is not required to be screened from Winbrook Drive, but the equipment must be painted with like colors as the main building to minimize the visibility of the equipment from the ground level.

9. ARCHITECTURAL STANDARDS.

(a) Unless otherwise provided, the architectural standards in Section 17.84.100 of the Zoning Ordinance apply.

(b) Maximum 80% painted and textured tilt up concrete is allowed.

(c) Accent colors on each façade shall be limited to a maximum of 50% of the façade area for logo colors and a maximum 25% of the façade area for other accent colors.

10. SIGNS.

(a) Unless otherwise stated herein, see Section 17.92 of the Zoning Ordinance.

(b) Maximum number of attached signs per tenant per building is 2.

(c) Maximum number of monument signs per building is 2. Monument signs may display the names of all tenants of the building located on the lot on which the monument sign is located.

(d) Maximum sign area may be increased by 50% of the size otherwise allowed under the Zoning Ordinance.

11. PHASING SCHEDULE.

Estimated commencement of construction is Summer, 2022.

12. EXPIRATION.

The provisions of the planned development district established herein shall not expire; however, approved site plans are subject to Section 17.76.100 of the Zoning Ordinance and shall expire on the date that is 5 years after the date of approval if no progress toward completion is made.

13. OTHER AUTHORITY.

Development of the property must comply with all other applicable city ordinances, including but not limited to the subdivision ordinance, and all applicable state and federal laws.

SECTION 5 AMENDING OFFICIAL ZONING AND FUTURE LAND USE MAPS

The City Planner is hereby directed to amend the official zoning and future land use maps to reflect the changes in classifications as approved in this ordinance.

SECTION 6 CUMULATIVE CLAUSE

This ordinance shall be cumulative of all provisions of ordinances and of the Code of the City of Benbrook, Texas (1985), as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event the conflicting provisions of such ordinances and such Code are hereby repealed.

SECTION 7 SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 8 PENALTY CLAUSE

Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for all violations involving zoning, fire safety or public health and sanitation, including dumping of refuse, and shall be fined not more than Five Hundred Dollars (\$500.00) for all other violations of this ordinance. Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 9 SAVINGS CLAUSE

All rights and remedies of the City of Benbrook are expressly saved as to any and all violations of the provisions of the Benbrook Municipal Code (1985), as amended, or any ordinances regulating platting or Zoning which have accrued at the time of the effective date of this ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

SECTION 10 PUBLICATION IN PAMPHLET FORM

The City Secretary of the City of Benbrook is hereby authorized to publish this ordinance in book or pamphlet form for general distribution among the public, and the operative provisions of this ordinance as so published shall be admissible in evidence in all courts without further proof than the production thereof, as provided in Section 3.10 of the Charter of the City of Benbrook.

SECTION 11 ENGROSSMENT AND ENROLLMENT

The City Secretary of the City of Benbrook is hereby directed to engross and enroll the ordinance by copying the caption, penalty clause, and effective date clause of this ordinance in the minutes of the City Council and by filing the ordinance in the ordinance records of the City.


SECTION 12 PUBLICATION IN OFFICIAL NEWSPAPER

The City Secretary of the City of Benbrook is hereby directed to publish the caption, penalty clause, publication clause and effective date clause of this ordinance for two (2) days in the official newspaper of the City of Benbrook, as authorized by Section 52.013 of the Local Government Code.

**SECTION 13
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and it is so ordained

PASSED AND APPROVED this 20th day of January 2022.



Jason Ward, Mayor

ATTESTED BY:



Joanna King, City Secretary

LEGAL DESCRIPTION:**EXHIBIT "A"****BOUNDARY DESCRIPTION FOR 69.39446 ACRES IN FOUR TRACTS OF LAND OUT OF THE J. CAMBO SURVEY ABSTRACT NO 362 AND THE J. LANERI SURVEY ABSTRACT NO 1964 BENBROOK, TARRANT COUNTY, TEXAS****TRACT 1**

BEING a 5.0819 acre (221,367 square foot) tract of land situated in the James Cambo Survey, Abstract No. 362 & John Laneri Survey, Abstract No. 1964, City of Benbrook, Tarrant County, Texas; said tract being all of Lot 1, Block 1, Northeast Winscott Addition, an addition to the City of Benbrook according to the plat recorded in Cabinet A, Slide 7983 of the Plat Records of Tarrant County, Texas; said tract being part of that tract of land described in General Warranty Deed to Cassco Land Co., Inc. recorded in Instrument No. D202291480 of the Official Public Records of Tarrant County, Texas.

TRACT 2

BEING a 13.3387 acre (581,033 square foot) tract of land situated in the James Cambo Survey, Abstract No. 362, City of Benbrook, Tarrant County, Texas; said tract being part of that tract of land described as Exhibit "A", Tract No 1 in Special Warranty Deed with Mineral and Water Assumption to EG Benbrook Ltd. recorded in Instrument No. D212318325 of the Official Public Records of Tarrant County, Texas; said tract being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with "KHA" cap set in the north line of that tract of land described in Warranty Deed to Texas Electric Service Company recorded in Volume 5435, Page 242 of the Deed Records of Tarrant County, Texas; said point being the northwest corner of a Street or Road Right of Way Easement recorded in Instrument No. D213239849 of said Official Public Records;

THENCE South 89°14'44" West, along the said north line of said Texas Electric Service Company tract, a distance of 1220.74 feet to a 1/2-inch iron rod found for corner; said point being the southeast corner of Lot 2, Block 1, Northeast Winscott Addition, an addition to the City of Benbrook according to the plat recorded in Cabinet A, Slide 7983 of the Plat Records of Tarrant County, Texas;

THENCE North 0°47'59" West, departing the said north line of the Texas Electric Service Company tract and along the east line of said Lot 2, a distance of 476.48 feet to a 5/8-inch iron rod found for corner in the south line of Lot 1R, Block 1, Benbrook Industrial Park, an addition to the City of Benbrook according to the plat recorded in Cabinet A, Slide 7498 of the Plat Records of Tarrant County, Texas;

THENCE North 89°18'02" East, along the said south line of Lot 1R, to and along the south line of Lot 2R-1, Benbrook Industrial Park, Phase II, an addition to the City of Benbrook according to the plat recorded in Instrument No. D216095828 of said Official Public Records, a distance of 1221.12 feet to a 5/8-inch iron rod with "KHA" cap set for corner in the west right-of-way line of Benbrook Parkway (a 70-foot right-of-way);

THENCE South 0°45'16" East, along the said west line of Benbrook Parkway, a distance of 475.31 feet to the **POINT OF BEGINNING** and containing 13.3387 acres or 581,033 square feet of land, more or less.

TRACT 3

BEING a 44.5837 acre (1,942,067 square foot) tract of land situated in the James Cambo Survey, Abstract No. 362 & John Laneri Survey, Abstract No. 1964, City of Benbrook, Tarrant County, Texas; said tract being part of that tract of land described as Exhibit "A", Tract No 2 in Special Warranty Deed with Mineral and Water Assumption to EG Benbrook Ltd. recorded in Instrument No. D212318325 of the Official Public Records of Tarrant County, Texas; said tract being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with "KHA" cap set at the west end of a right-of-way corner clip at the intersection of the north right-of-way line of Southwest Loop 820 (a variable width right-of-way) and the west right-of-way line of Benbrook Parkway (a 70-foot wide right-of-way);

THENCE along the said north line of Southwest Loop 820, the following six (6) calls:

South 89°31'13" West, a distance of 885.50 feet to a brass disc stamped "TXDOT" found for corner at the beginning of a tangent curve to the right having a central angle of 14°16'52", a radius of 1402.40 feet, a chord bearing and distance of North 83°20'21" West, 348.65 feet;

In a northwesterly direction, with said curve to the right, an arc distance of 349.55 feet to a concrete monument found for corner;

North 76°12'58" West, a distance of 776.18 feet to a brass disc stamped "TXDOT" found for corner at the beginning of a tangent curve to the left having a central angle of 14°16'51", a radius of 1462.40 feet, a chord bearing and distance of North 83°21'24" West, 363.56 feet;

In a northwesterly direction, with said curve to the left, an arc distance of 364.50 feet to a concrete monument found for corner;

South 89°25'02" West, a distance of 89.56 feet to a brass disc stamped "TXDOT" found for corner at the beginning of a tangent curve to the right having a central angle of 90°00'00", a radius of 120.00 feet, a chord bearing and distance of North 45°34'58" West, 169.71 feet; said point being the east end of a circular right-of-way corner clip at the intersection of the said north line of Southwest Loop 820 and the east right-of-way line of Winscott Road (a variable width right-of-way);

In a northwesterly direction, along said corner clip and with said curve to the right, an arc distance of 188.50 feet to a 5/8-inch iron rod in concrete found for corner;

THENCE along the said east line of Winscott Road, the following four (4) calls:

North 16°26'55" West, a distance of 72.80 feet to a 5/8-inch iron rod with "KHA" cap set for corner at the beginning of a non-tangent curve to the right having a central angle of 7°36'33", a radius of 1293.77 feet, a chord bearing and distance of North 1°19'59" East, 171.69 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 171.82 feet to a 5/8-inch iron rod found for corner at the beginning of a non-tangent curve to the left having a central angle of 6°05'50", a radius of 1082.74 feet, a chord bearing and distance of North 2°28'24" East, 115.17 feet;

In a northeasterly direction, with said curve to the left, an arc distance of 115.22 feet to a 5/8-inch iron rod with "KHA" cap set for corner at the beginning of a non-tangent curve to the right having a central angle of 89°50'46", a radius of 90.00 feet, a chord bearing and distance of North 44°19'20" East, 127.11 feet; said point being the south end of a circular right-of-way corner clip at the intersection of the said east line of Winscott Road and the south right-of-way line of Winbrook Drive (a 60-foot wide right-of-way);

In a northeasterly direction, along said corner clip and with said curve to the right, an arc distance of 141.13 feet to a 5/8-inch iron rod found for corner;

THENCE along the said south line of Winbrook Drive, the following three (3) calls:

North 89°14'46" East, a distance of 38.00 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

North 86°57'19" East, a distance of 100.08 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

North 89°14'44" East, a distance of 2331.37 feet to a 5/8-inch iron rod with "KHA" cap set for corner at the west end of a right-of-way corner clip at the intersection of the said south line of Winbrook Drive and the said west line of Benbrook Parkway;

THENCE South 45°45'16" East, along said corner clip, a distance of 35.36 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

THENCE South 0°45'16" East, along the said west line of Benbrook Parkway, a distance of 811.90 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

THENCE South 44°23'02" West, a distance of 35.47 feet to the **POINT OF BEGINNING** and containing 44.5837 acres or 1,942,067 square feet of land, more or less.

TRACT 4

BEING a 6.3403 acre (276,184 square foot) tract of land situated in the James Cambo Survey, Abstract No. 362, City of Benbrook, Tarrant County, Texas; said tract being part of that tract of land described in Special Warranty Deed with Mineral and Water Reservation to EG Benbrook, Ltd recorded in Instrument No. D212318325, Official Public Records, Tarrant County, Texas; said tract being more particularly described as follows:

BEGINNING at a 5/8-inch iron with cap stamped "KHA" set at the north end of a right-of-way corner clip at the intersection of the north right-of-way line of Southwest Loop 820 (a variable width right-of-way) and the east right-of-way line of Benbrook Parkway (a 70-foot wide right-of-way);

THENCE North 0°45'16" West, along the said east right-of-way line of Benbrook Parkway, a distance of 812.24 feet to a 5/8-inch iron rod with cap stamped "KHA" set at the south end of a right-of-way corner clip at the intersection of the said east right-of-way line of Benbrook Parkway and the south right-of-way line of Winbrook Drive (a 60-foot wide right-of-way);

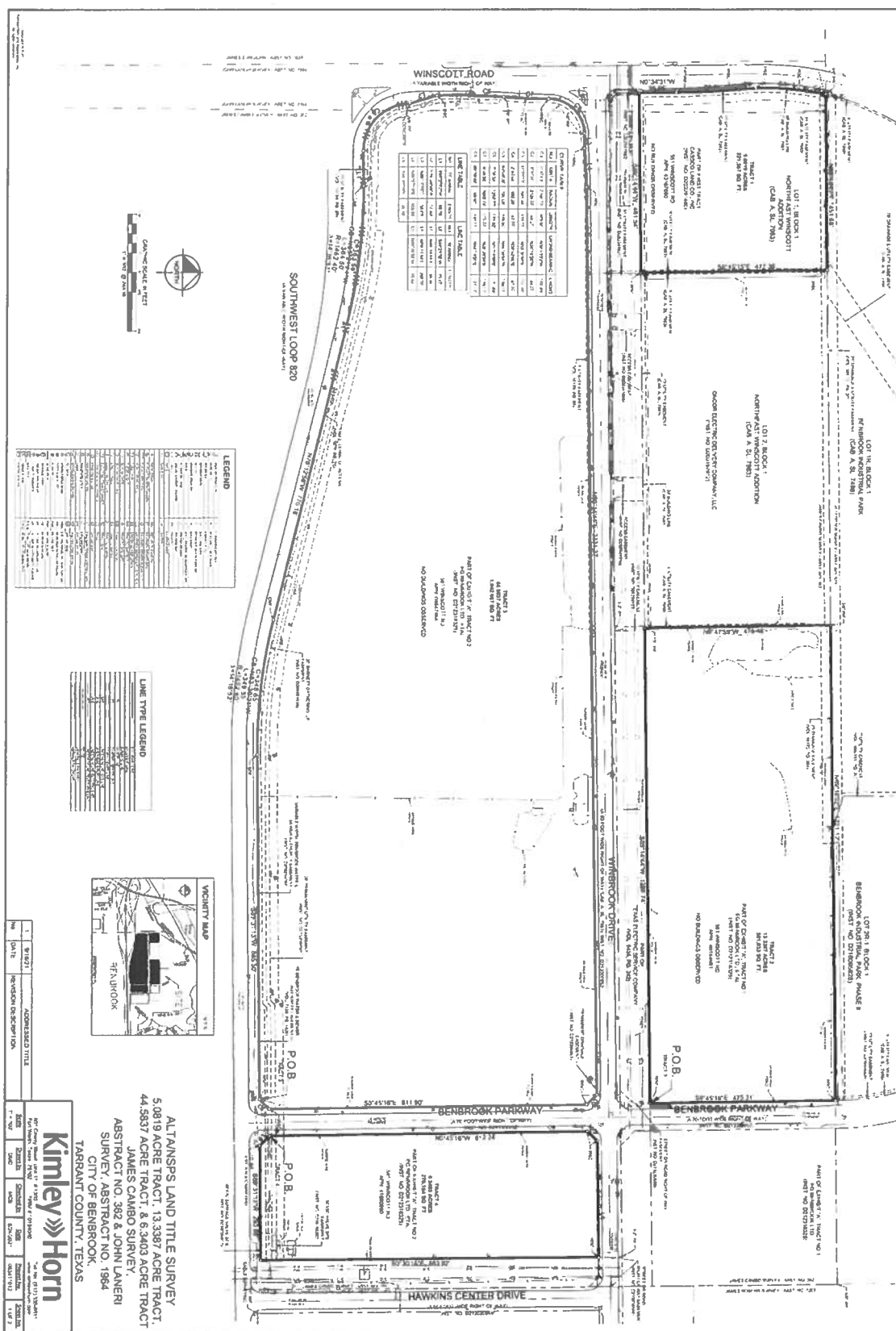
THENCE North 44°14'44" East, along said corner clip, a distance of 35.36 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

THENCE North 89°14'44" East, along the said south right-of-way line of Winbrook Drive, a distance of 297.58 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

THENCE South 0°30'16" East, departing the said south right-of-way line of Winbrook Drive, a distance of 863.92 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner in the north right-of-way line of Southwest Loop 820;

THENCE South 89°31'13" West, along the said north right-of-way line of Southwest Loop 820, a distance of 293.68 feet to a 1/2-inch iron rod with cap stamped "BRITTAIN & CRAWFORD" found at the south end of said right-of-way corner clip at the intersection of the said north right-of-way line of Southwest Loop 820, and the said east right-of-way line of Benbrook Parkway;

THENCE North 45°36'58" West, along said corner clip, a distance of 35.64 feet to the **POINT OF BEGINNING** and containing 6.3403 acres or 276,184 square feet of land, more or less.



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February 11, 2022

Doug Howard
City Planner | City of Benbrook, Texas
911 Wincott Road
Benbrook, Texas 76126

Project: NEC Wincott and 120
RE: Alternative Tree Preservation Plan Extra Lot

An alternate tree preservation plan (ATPP) was submitted for the above referenced project, One of the tracts (highlighted in Exhibit A, attached to this letter) included in that ATPP is a 6.09 AC lot located at 581 Wincott Road, southeast corner of Winbrook Drive and Benbrook Parkway, specifically described as Tract 2E, abstract 362 of the James Cambo Survey.

This 6 AC lot is included in the ATPP but is not a part of the site plan or final plat associated with this project, as it is to remain undeveloped at this time. This lot shares common ownership with the other lots in the ATPP. At the time of development of this 6 AC property (future), a site plan and final plat will be submitted for review and approval by the City of Benbrook planning department and Planning and Zoning Commission.

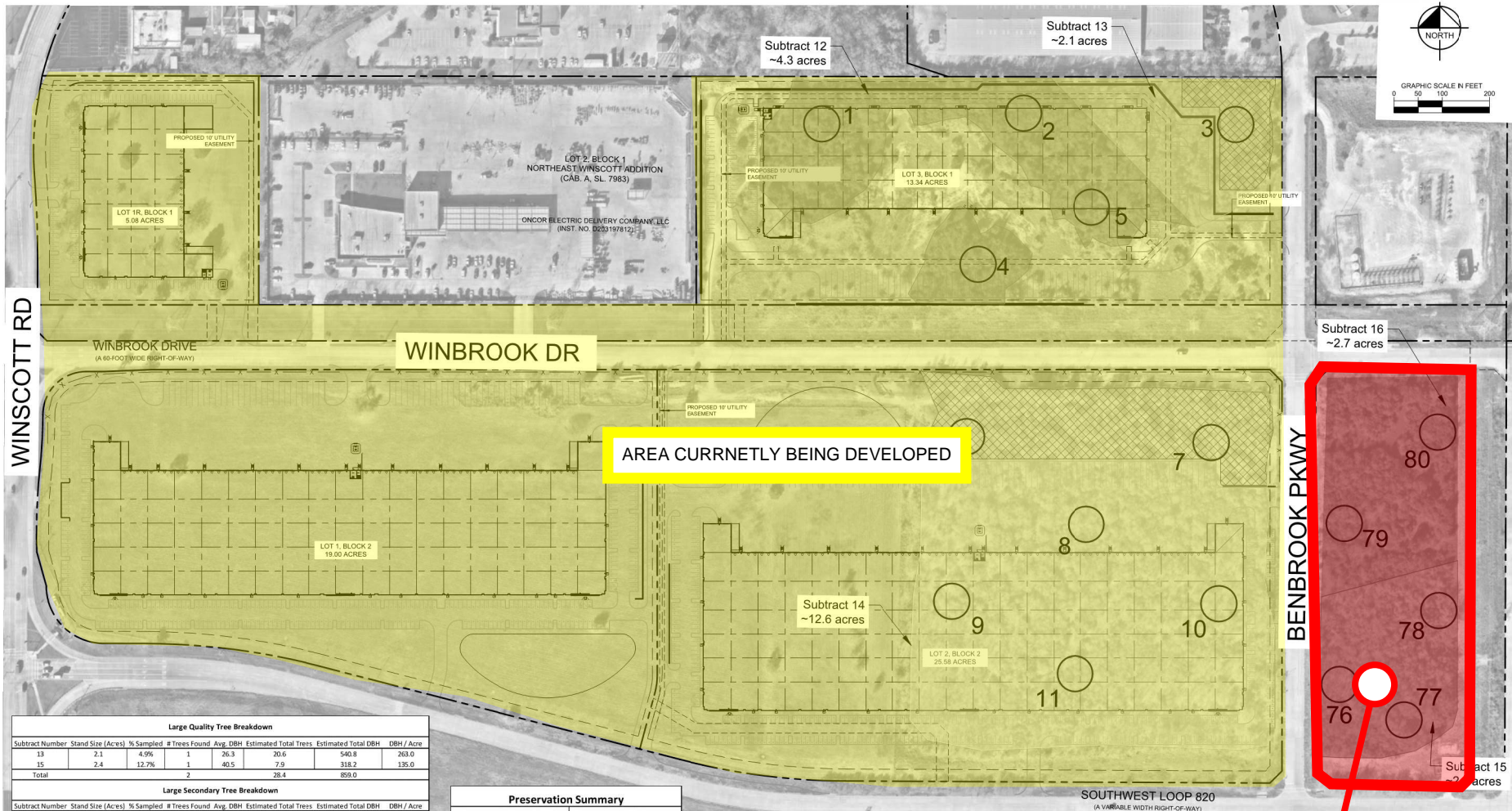
If you have any additional comments or questions, please do not hesitate to contact me at 817-900-8530 or jeff.landon@kimley-horn.com.

Sincerely,



Jeff Landon, P.E. (TX PE License 134895)
Project Manager
KIMLEY-HORN AND ASSOCIATES, INC.

EXHIBIT A



Large Quality Tree Breakdown									
Subtract Number	Stand Size (Acres)	% Sampled	# Trees Found	Avg. DBH	Estimated Total Trees	Estimated Total DBH	DBH / Acre		
13	2.1	4.9%	1	26.3	26.3	540.8	263.0		
15	2.4	12.7%	1	40.5	7.9	318.2	135.0		
Total	2		2	28.4		859.0			

Large Secondary Tree Breakdown									
Subtract Number	Stand Size (Acres)	% Sampled	# Trees Found	Avg. DBH	Estimated Total Trees	Estimated Total DBH	DBH / Acre		
13	2.1	4.9%	1	24.3	20.6	499.7	243.0		
14	12.6	4.8%	1	18.2	21.0	382.8	30.3		
Total	2		2	41.6		882.5			

Quality Tree Breakdown									
Subtract Number	Stand Size (Acres)	% Sampled	# Trees Found	Avg. DBH	Estimated Total Trees	Estimated Total DBH	DBH / Acre		
12	4.3	9.2%	3	13.77	97.4	1048.3	242.3		
13	2.1	4.9%	3	12.13	61.7	748.5	364.0		
14	12.6	4.8%	4	6.25	84.1	525.8	41.7		
15	2.4	12.7%	6	8.60	47.1	405.4	172.0		
Total	22		290.3		2728.0				

Secondary Tree Breakdown									
Subtract Number	Stand Size (Acres)	% Sampled	# Trees Found	Avg. DBH	Estimated Total Trees	Estimated Total DBH	DBH / Acre		
12	4.3	9.2%	3	8.6	32.5	280.7	64.9		
13	2.1	4.9%	8	13.6	104.5	2228.9	1084.0		
14	12.6	4.8%	5	8.5	105.2	894.7	70.9		
15	2.4	12.7%	0	7.6	0.0	0.0	0.0		
16	2.7	7.5%	1	10.5	13.3	140.4	52.6		
Total	16		302.1		3404.3				

Preservation Summary			
Stand Inputs		Stand Outputs	
Stand Number	% of Stand Preserved	Acres Preserved	Acres Removed
12	0%	0.0	4.3
13	36%	0.74	1.3
14	21%	2.6	10.0
15	0%	0.0	2.4
16	0%	0.0	2.7
Total		3.3	20.7

City Comparison			
Tree Type	Prop. Preservation Rate	City Preservation Rate	
Large Quality	23%	70%	
Large Secondary	30%	20%	
Quality	14%	20%	
Secondary	28%	0%	

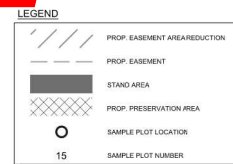
DBH Type	Proposed Preservation	City Required Preservation	Percent of Requirement
Quality	572	1147	50%
Total	1516	1323	137%

SITE INFORMATION		
Subtract	Area (sq. ft)	Acres
12	188,494	4.3
13	89,569	2.1
14	549,743	12.6
15	102,670	2.4
16	116,180	2.7
Total	1,046,656	24.0

SAMPLE SIZE				
Subtract	Number of Samples	Area Sampled (Acres)	% Sampled	
12	4	0.4	9%	
13	1	0.1	5%	
14	6	0.6	5%	
15	3	0.3	13%	
16	2	0.2	7%	
Total	16	1.6	7%	

6 AC TO REMAIN UNDEVELOPED AT THIS TIME.

NOTE: ALTERNATIVE TREE PRESERVATION REQUIREMENTS ARE BEING PROPOSED FOR THIS SITE. REFERENCE "WINSBROOK & I-20 DEVELOPMENT TREE PRESERVATION AND MITIGATION" MEMORANDUM BY KIMLEY-HORN DATED 2/8/2022 TO DOUG HOWARD FOR DETAILED ALTERNATIVE PRESERVATION AND MITIGATION REQUESTS.



DATE: FEBRUARY 2022
SCALE: AS SHOWN
DESIGNED BY: KHA
DRAWN BY: KHA
CHECKED BY: KHA

Kimley»Horn
134895
2/8/2022
KIMLEY-HORN ASSOCIATES, INC.
801 CHERRY ST. UNIT 11, FORT WORTH, TX 76102
TELEPHONE: 817.335.4600
FAX: 817.335.4601
WWW.KIMLEY-HORN.COM

BENBROOK INDUSTRIAL PARK

TREE PRESERVATION PLAN

C-500

NO.	REVISIONS	DATE	BY

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